

7-8-2020 SKETCH PLAN SUBMITTAL
7-7-2020 MASTER PLAN SUBMITTAL

CE-01 EXISTING CONDITIONS
CE-02 DEMOLITION PLAN
CE-03 SITE AND UTILITY PLAN
CE-04 GRADING AND DRAINAGE PLAN
CE-05 LANDSCAPE PLAN
D-01 NOTES AND DETAILS
D-02 NOTES AND DETAILS
D-03 NOTES AND DETAILS
D-04 NOTES AND DETAILS
A4.11 EXTERIOR ELEVATIONS - NEW WORK
A4.12 EXTERIOR ELEVATIONS - NEW WORK

Money Court Property Holding, LLC
5317 Pomfret Point
Raleigh, NC 27612
Contact: Kip Downer

STOKES SURVEYING & MAPPING PLLC
1425-105B Rock Quarry Rd.
Raleigh, NC 27610
Phone: 1.919.977.7825
Contact: Mike Stokes

**STOCKS
ENGINEERING** 

801 EAST WASHINGTON STREET
NASHVILLE, N.C. 27856

WWW.STOCKSENGINEERING.COM

PHONE: (252) 459-9196 P.O. BOX 1108

310 ARCHITECTURE + INTERIORS
302 JEFFERSON STREET #250
Raleigh, NC 27605
Phone: 919.838.9310
Contact: Paul Fox

LOCATION: _____ 706 MONEY COURT
KNIGHTDALE, NC
COUNTY: _____ WAKE COUNTY
TOTAL SITE ACREAGE: _____ 1.73 Ac.
ZONING: _____ HB (HIGHWAY BUSINESS)
TOWNSHIP: _____ ST. MATTHEWS
PIN: _____ 1754662151

MINIMUM BUILDING SETBACKS:	ALL STRUCTURES-- PRINCIPAL	ALL STRUCTURES-- ACCESSORY
LOT WIDTH (AT ROW):	150'	N/A
FRONT (MIN):	10'	N/A
FRONT (MAX):	90'	N/A
SIDE (MIN):	0' OR 6'	N/A
CORNER SIDE (MIN):	10'	N/A
SIDE FROM RR,GR,UR		
AND RMX DISTRICTS	50'	50'
REAR SETBACKS (MIN):	10'	5'
REAR SETBACKS FROM:	15' FROM	15' FROM
REAR LANE/ALLEY:	CENTERLINE	CENTERLINE
REAR FROM RR,GR,UR		
AND RMX DISTRICTS	50'	50'
MAXIMUM HEIGHT:	5 STORIES	35'

EXISTING USE: _____ CURRENT GYM AND VACANT
PROPOSED USE: _____ GYM AND RESTAURANT
GYM: _____ ±4,570 Sq. Ft.
RESTAURANT: _____ ±3,190 Sq. Ft.
TOTAL BUILDING SIZE: _____ ±7,760 Sq. Ft.

PARKING CALCULATIONS:
BURN BOOT CAMP (INDOOR REC): MAX: 34 (1 PER 3 PERSON CAPACITY)
MIN: 17 (1/2 OF MAXIMUM)
(CH. 10.3.D.5.H)

CRAFT KITCHEN (RESTAURANT): MAX: 48 (15 PER 1,000 SF GFA)
MIN: 24 (1/2 OF MAXIMUM)
(CH. 10.3.D.4.C)

TOTAL PARKS:_____MAX: 82 SPACES
MIN: 41 SPACES

BICYCLE PARKING CALCULATIONS:
CRAFT KITCHEN (RESTAURANT): _____ MIN OF 2 SPACES FOR 15 TO 40 VEHICLE SPACES
CRAFT KITCHEN MINIMUM VEHICLE SPACES = 24
(CH. 10.3.C.2)

PARKING PROVIDED:
EX. SPACES: 88
PROPOSED SPACES: 79
9 SPACES ARE BEING REPLACED WITH AN OUTDOOR SEATING PATIO.
H.C. (VAN ACCESSIBLE): 5
BICYCLE PARKING SPACES: 2

EX. IMPERVIOUS AREA: _____ 63,873 SF (1.47 Ac.) (84.76%)
PRO. IMPERVIOUS AREA: _____ 63,950 SF (1.47 Ac.) (84.86%)
LANDSCAPE AREA: _____ 0.26 Ac. (15.14%)
RIVER BASIN: _____ LOWER NEUSE RIVER
DISTURBED AREA: _____ ±0.15 AC.

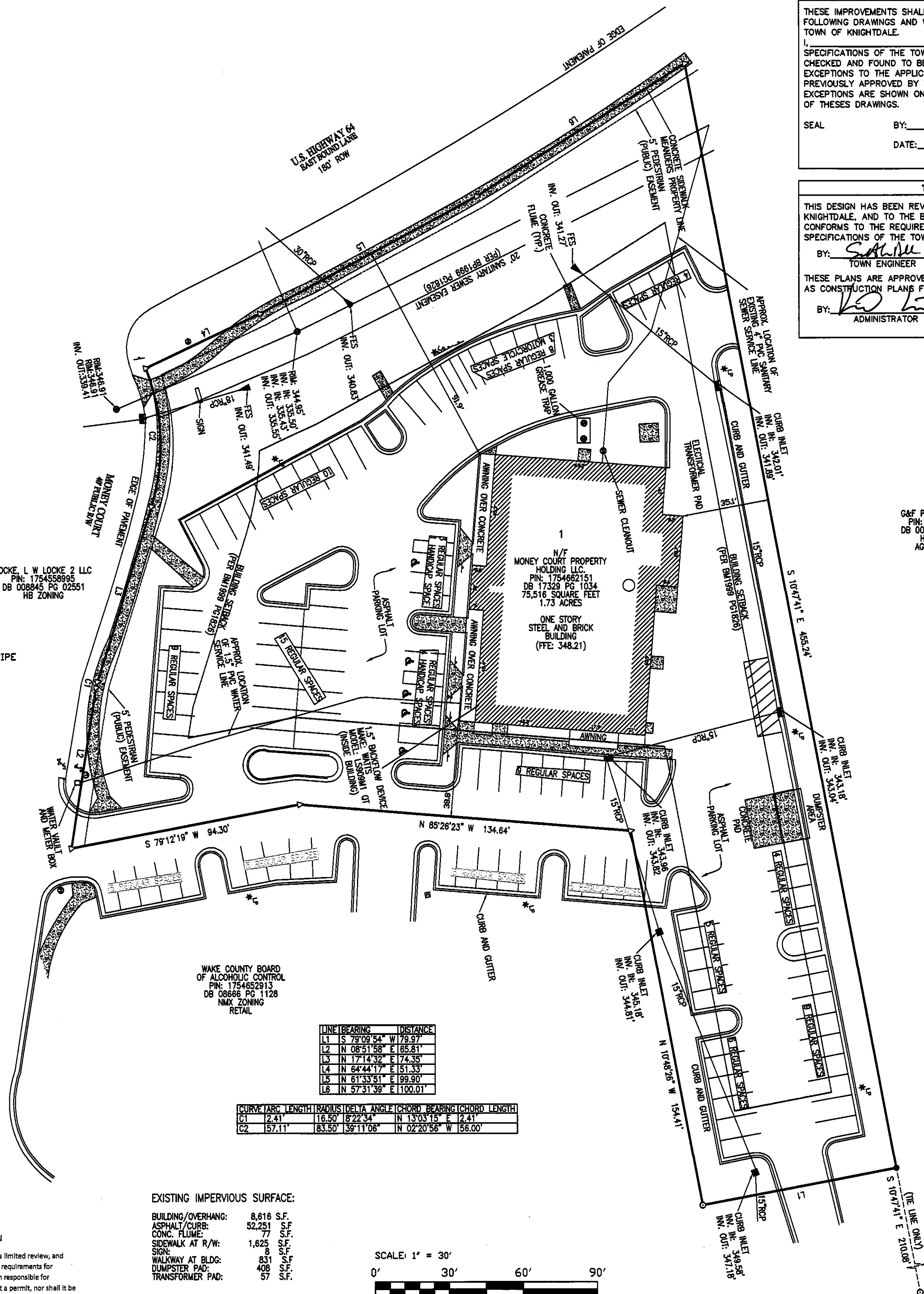
CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

Plans for the proposed use have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be considered to represent total compliance with all legal requirements for development and construction. The property owner, design consultants, and contractors are each responsible for compliance with all applicable City, State and Federal laws. This specific authorization below is not a permit, nor shall it be construed to permit any violation of City, State or Federal Law. All Construction must be in accordance with all Local, State and Federal Rules and Regulations.

Electronic Approval: This approval is being issued electronically. This approval is valid only upon the signature of a City of Raleigh Review Officer below. The City will retain a copy of the approved plans. Any work authorized by this approval must proceed in accordance with the plans kept on file with the City. This electronic approval may not be edited once issued. Any modification to this approval once issued will invalidate this approval.

City of Raleigh Development Approval Lorea M Sample

City of Raleigh Review Officer



EXISTING IMPERVIOUS SURFACE:

BUILDING/OVERHANG:	8,616	S.F.
ASPHALT/CURB:	52,251	S.F.
CONC. FLUME:	77	S.F.
SIDEWALK AT R/W:	1,625	S.F.
SIGN:	8	S.F.
WALKWAY AT BLDG:	831	S.F.
DUMPSTER PAD:	408	S.F.
TRANSFORMER PAD:	57	S.F.

TOTAL: 63,873 S.F. (84.58%)

SCALE: 1" = 30'

0' 30' 60' 90'

A horizontal scale bar with alternating black and white segments. The segments are labeled 0', 30', 60', and 90' from left to right. The bar is divided into four equal segments, each representing 30 feet.

TOWN APPROVED STANDARDS SHALL CONTROL

IN THE EVENT OF A CONFLICT OR INCONSISTENCY BETWEEN THESE CONSTRUCTION DRAWINGS AND THE TOWN OF KNIGHTDALE'S APPROVED STANDARDS FOR THIS PROJECT, THE APPROVED STANDARDS SHALL CONTROL. TOWN OF KNIGHTDALE APPROVED STANDARDS SHALL MEAN ALL DEVELOPMENT DOCUMENTS NECESSARY FOR APPROVAL FOR THE PROPERTY INCLUDING, BUT NOT LIMITED TO, ANY SPECIAL USE PERMIT, SUBDIVISION PLAN, SITE PLAN, SUBDIVISION PLAT(S), PHASING SCHEDULE, DEVELOPMENT AGREEMENT, ANNEXATION AGREEMENT, THE TOWN OF KNIGHTDALE STANDARD SPECIFICATION AND DETAILS MANUAL AND APPLICABLE PROVISIONS OF THE NORTH CAROLINA STATE BUILDING CODE.

PROFESSIONAL DESIGN ENGINEER CERTIFICATION

THESE IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING DRAWINGS AND WITH THE STANDARD SPECIFICATIONS OF THE TOWN OF KNIGHTDALE.

_____, PE. CERTIFY THAT THE STANDARD SPECIFICATIONS OF THE TOWN OF KNIGHTDALE HAVE BEEN THOROUGHLY CHECKED AND FOUND TO BE APPLICABLE TO THIS PROJECT. ALL EXCEPTIONS TO THE APPLICABLE TOWN STANDARDS HAVE BEEN PREVIOUSLY APPROVED BY THE TOWN OF KNIGHTDALE AND SAID EXCEPTIONS ARE SHOWN ON SHEET(S) _____ OF THESE DRAWINGS.

SEAL BY: _____, PE
DATE: _____

TOWN CERTIFICATION

THIS DESIGN HAS BEEN REVIEWED BY THE ENGINEER FOR THE TOWN OF KNIGHTDALE, AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, IT CONFORMS TO THE REQUIREMENTS ESTABLISHED IN THE STANDARD SPECIFICATIONS OF THE TOWN OF KNIGHTDALE.

BY: S. A. Hill DATE: 11-19-2020
TOWN ENGINEER

THESE PLANS ARE APPROVED BY THE TOWN OF KNIGHTDALE AND SERVE AS CONSTRUCTION PLANS FOR THIS PROJECT.

BY: [Signature] DATE: 11/19/20
ADMINISTRATOR

G&F PROPERTIES LLC
PIN: 1754655899
DB 008139 PG 0672
HB ZONING
AGRICULTURAL

HE HAS MADE MY MOUTH LIKE A SHARP SWORD, IN THE SHADOW OF HIS HAND HE HAS CONCEALED ME; AND HE HAS ALSO MADE ME A SELECT ARROW, HE HAS HIDDEN ME IN HIS QUIVER. ISAIAH 49:2

**310 ARCHITECTS - KNIGHTDALE CRAFT KITCHEN
KNIGHTDALE, NORTH CAROLINA**

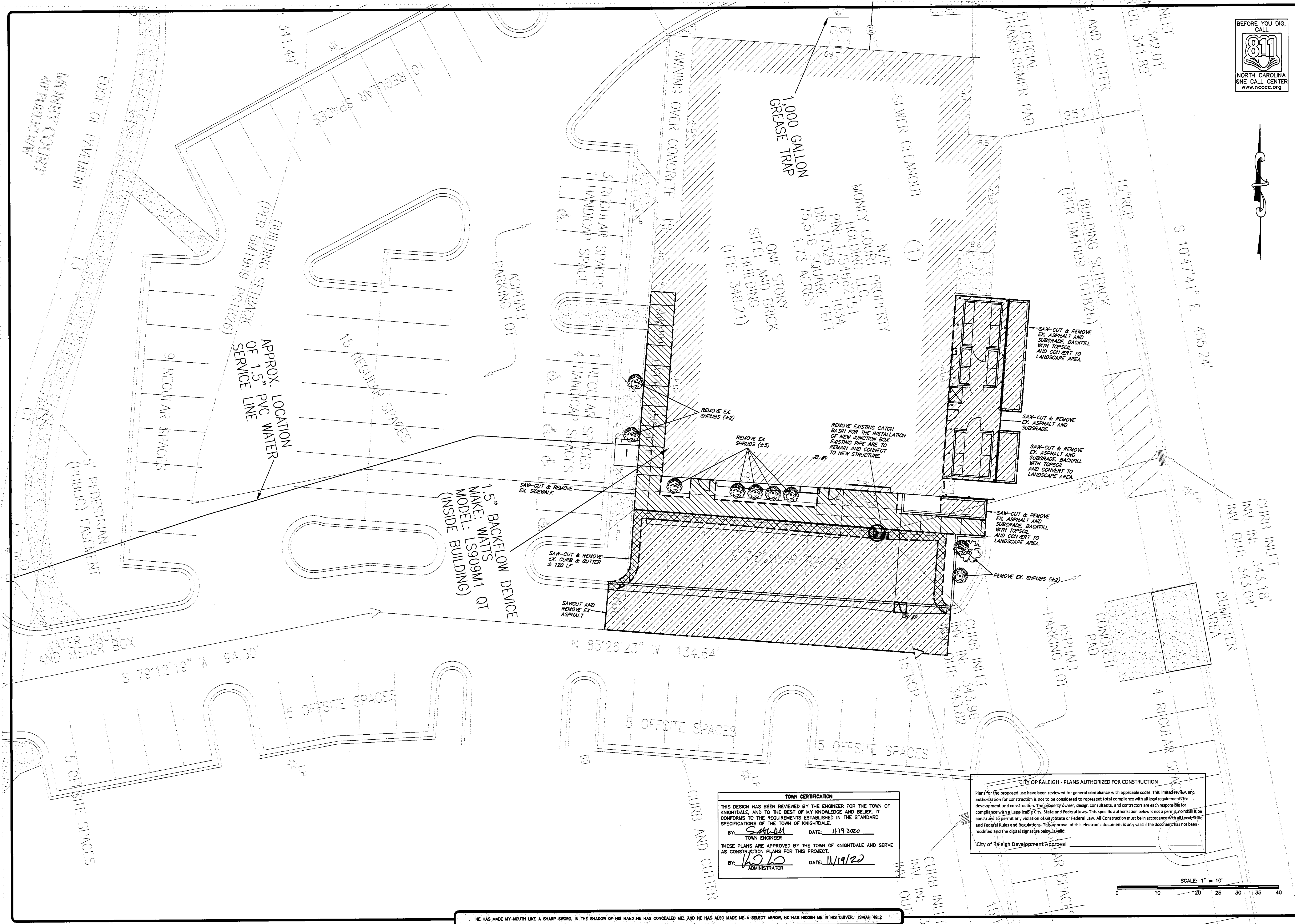


EXISTING CONDITIONS

REVISIONS	
'24/20	MASTER PLAN SUB.
'14/20	CD REVISIONS

FILE NO. 2019-098	
ORZ. SCALE:	1"=30'
VERT. SCALE:	NONE

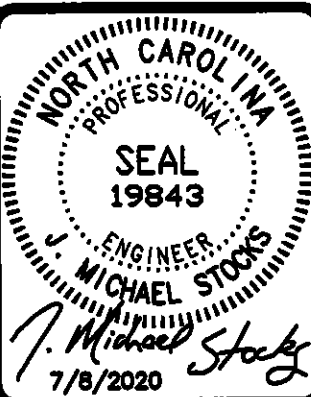
CE-01



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BLN-C-1874

310 Architects - Knightdale Craft Kitchen
KNIGHTDALE, NORTH CAROLINA



DEMOLITION PLAN

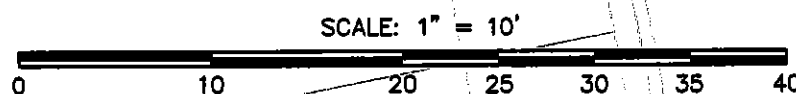
REVISIONS
8/24/20 MASTER PLAN SUB.
9/14/20 CD REVISIONS

FILE NO. 2019-098
HORZ. SCALE: 1"=10'
VERT. SCALE: NONE

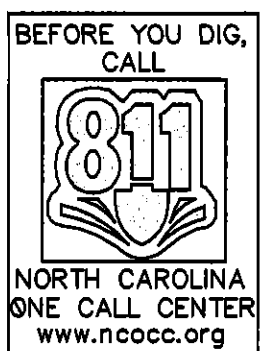
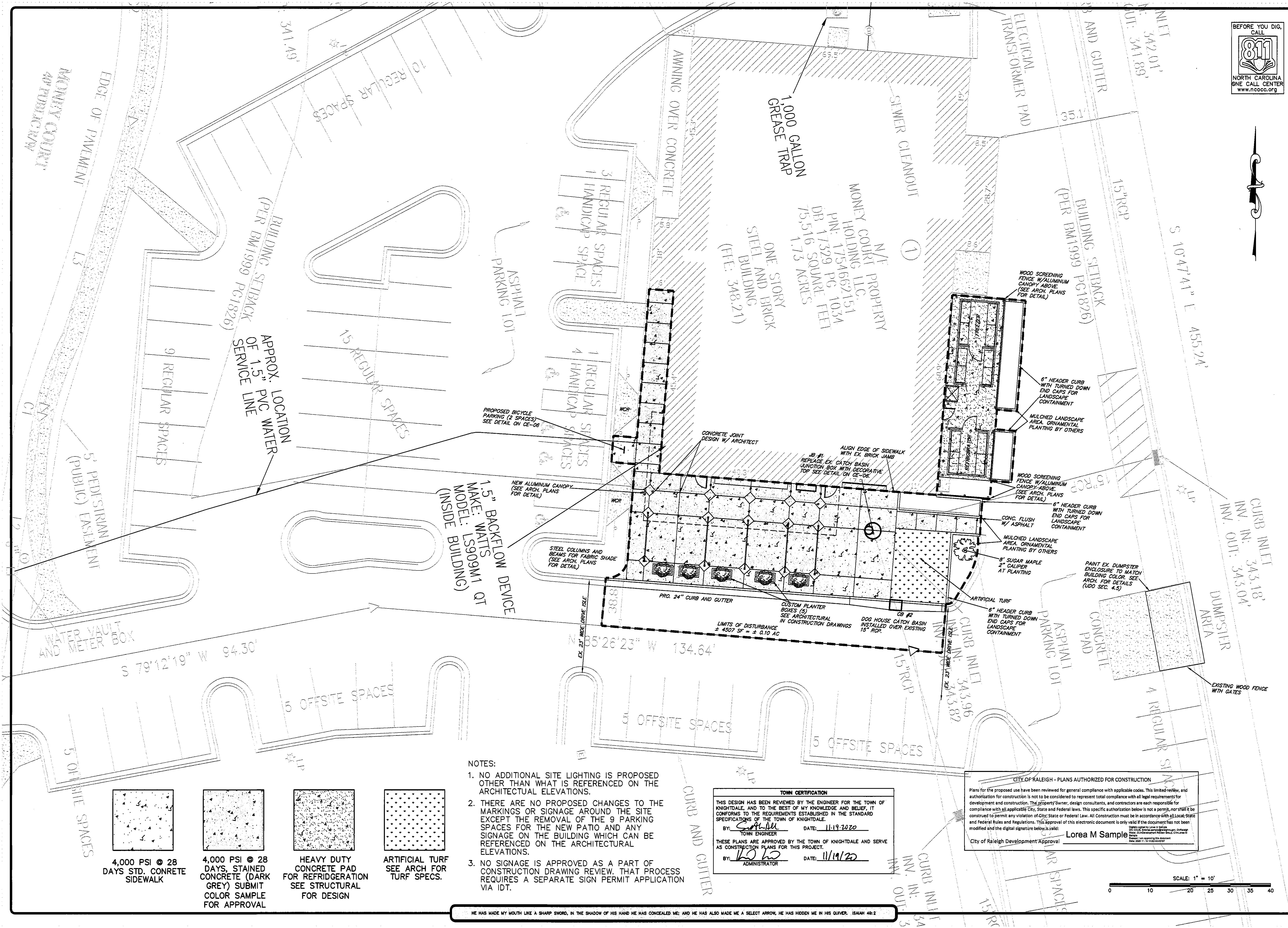
CE-02

TOWN CERTIFICATION
THIS DESIGN HAS BEEN REVIEWED BY THE ENGINEER FOR THE TOWN OF KNIGHTDALE, AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, IT CONFORMS TO THE REQUIREMENTS ESTABLISHED IN THE STANDARD SPECIFICATIONS OF THE TOWN OF KNIGHTDALE.
BY: SATISH DATE: 11/19/2020
TOWN ENGINEER
THESE PLANS ARE APPROVED BY THE TOWN OF KNIGHTDALE AND SERVE AS CONSTRUCTION PLANS FOR THIS PROJECT.
BY: KEVIN DATE: 11/19/2020
ADMINISTRATOR

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City of Raleigh Development Approval

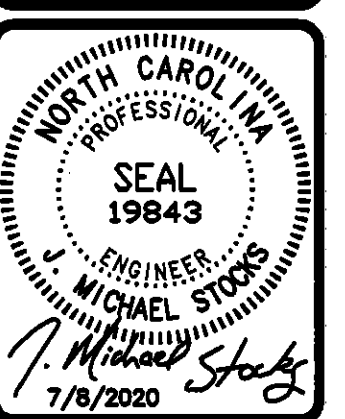


HE HAS MADE MY MOUTH LIKE A SHARP SWORD, IN THE SHADOW OF HIS HAND HE HAS CONCEALED ME; AND HE HAS ALSO MADE ME A SELECT ARROW, HE HAS HIDDEN ME IN HIS QUIVER. ISAIAH 48:2



STOCKS ENGINEERING
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310 Architects - Knightdale Craft Kitchen
KNIGHTDALE, NORTH CAROLINA



SITE AND UTILITY PLAN	
REVISIONS	
8/24/20 MASTER PLAN SUB.	
9/14/20 CD REVISIONS	
FILE NO.	2019-098
HORIZ. SCALE:	1"=10'
VERT. SCALE:	NONE
CE-03	

- NOTES:
1. NO ADDITIONAL SITE LIGHTING IS PROPOSED OTHER THAN WHAT IS REFERENCED ON THE ARCHITECTURAL ELEVATIONS.
 2. THERE ARE NO PROPOSED CHANGES TO THE MARKINGS OR SIGNAGE AROUND THE SITE EXCEPT THE REMOVAL OF THE 9 PARKING SPACES FOR THE NEW PATIO AND ANY SIGNAGE ON THE BUILDING WHICH CAN BE REFERENCED ON THE ARCHITECTURAL ELEVATIONS.
 3. NO SIGNAGE IS APPROVED AS A PART OF CONSTRUCTION DRAWING REVIEW. THAT PROCESS REQUIRES A SEPARATE SIGN PERMIT APPLICATION VIA IDT.

TOWN CERTIFICATION

THIS DESIGN HAS BEEN REVIEWED BY THE ENGINEER FOR THE TOWN OF KNIGHTDALE, AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, IT CONFORMS TO THE REQUIREMENTS ESTABLISHED IN THE STANDARD SPECIFICATIONS OF THE TOWN OF KNIGHTDALE.

BY: *[Signature]* DATE: 11/19/2020
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BY: *[Signature]* DATE: 11/19/2020
ADMINISTRATOR

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City of Raleigh Development Approval: Lorea M Sample

- 4,000 PSI @ 28 DAYS STD. CONCRETE SIDEWALK
- 4,000 PSI @ 28 DAYS, STAINED CONCRETE (DARK GREY) SUBMIT COLOR SAMPLE FOR APPROVAL
- HEAVY DUTY CONCRETE PAD FOR REFRIDGERATION SEE STRUCTURAL FOR DESIGN
- ARTIFICIAL TURF SEE ARCH FOR TURF SPECS.

HE HAS MADE MY MOUTH LIKE A SHARP SWORD, IN THE SHADOW OF HIS HAND HE HAS CONCEALED ME; AND HE HAS ALSO MADE ME A SELECT ARROW, HE HAS HIDDEN ME IN HIS QUIVER. ISAIAH 49:2



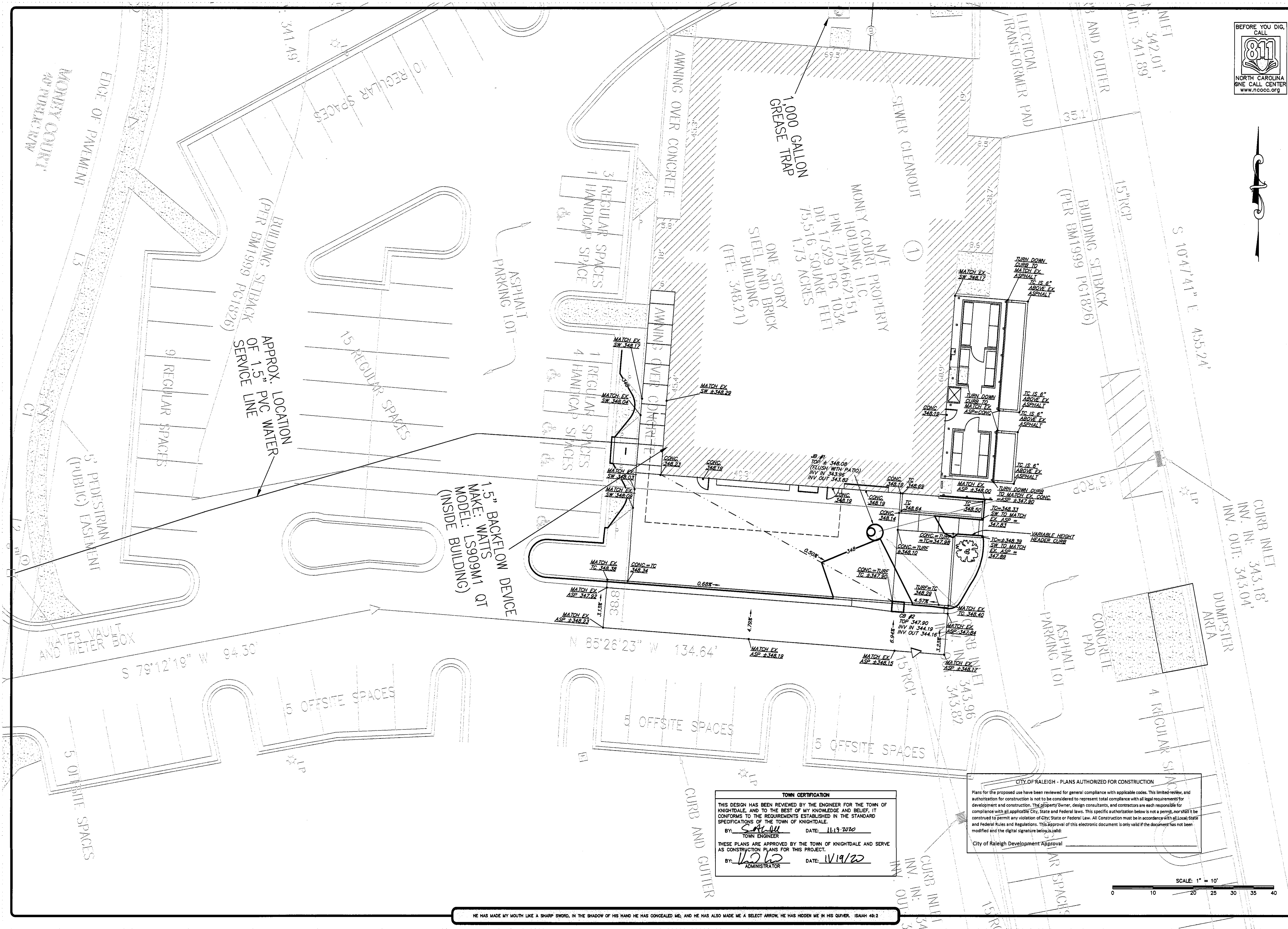
NASHVILLE, N.C. 27836
PHONE: (252) 439-8190
WWW.STOCKSENGINEERING.COM

310 Architects - Knightdale Craft Kitchen
KNIGHTDALE, NORTH CAROLINA

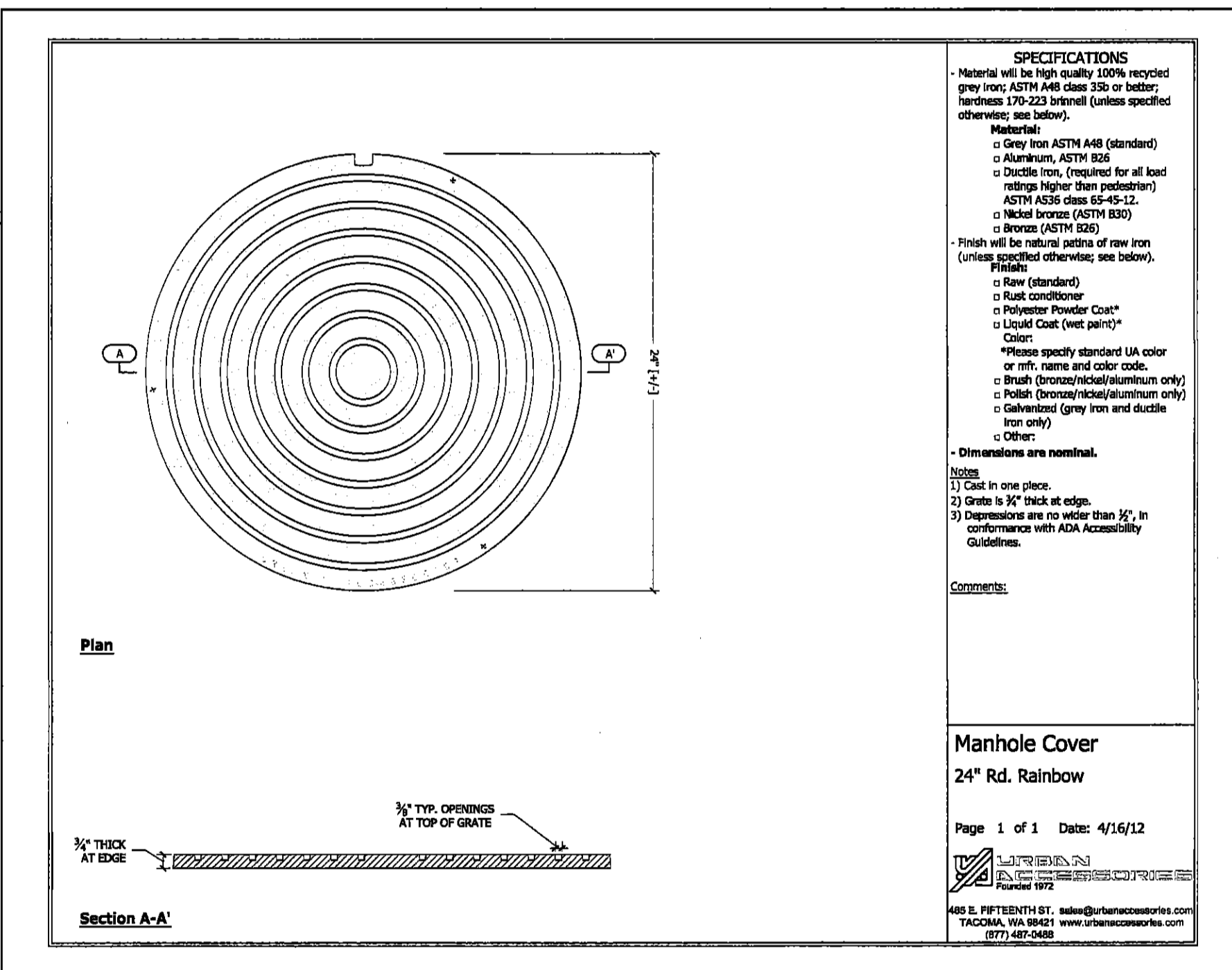


FILE NO. 2019-098

CE-04



1. All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition)
2. All sanitary sewer separation requires separation between sanitary sewer and storm sewer:
 - a) A distance of 100' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If the water is later used for irrigation, the water supply source shall be specified & installed to waterline specifications. However, the minimum separation shall be less than 10' if the water is a private water supply source.
 - b) When installing water &/or sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the variation required is the waterline shall be installed at least 18" above the storm main at least 18" above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter.
 - c) When installing water &/or sewer mains, the horizontal separation between sewer & storm sewer, a watermain, DIP materials or steel encasement installed 10' on each side of crossing must be specified & installed to waterline specifications
 - d) When installing water &/or sewer mains, the horizontal separation between sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer
 - e) Maintain 18" min. vertical separation at all watermain & RCP storm drain crossings. Maintain 24" min. vertical separation at all watermain & RCP storm drain crossings. Where adequate separations cannot be achieved, specify DIP materials & a concrete trench having 2' clearance
 - f) All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required
3. Any design and/or materials are subject to review & approval of an amended plan &/or profile by the City of Raleigh Public Utilities Department prior to construction
4. Contractor shall maintain continuous water & sewer service to existing residences & businesses during construction. If a water or sewer main is to be replaced, it shall be preceded by a 24 hour advance notice to the City of Raleigh Public Utilities Department
5. 3.0 minimum cover is required on all water mains & sewer force mains. 4.0 minimum cover is required on all storm sewer
6. It is the developer's responsibility to abandon or remove existing water & sewer services not being replaced. This includes abandonment at main & removal of service from ROW or easement per CORPUD Handbook procedure
7. All sewer with water meters located at ROW or within a 2'x2' Waterline Easement immediately adjacent. NOTE: It is the applicant's responsibility to properly size the waterline for each connection to provide adequate flow
8. All installed PVC sewer services @ 1.0% minimum slope with adequate cover at ROW or easement line & spaced every 72" linear feet maximum
9. All installed sewer services with manholes shall be installed with manholes exceeding 80" back-slope valves are required on all sanitary sewer services having building drains lower than 1.0' above the next upstream manhole
10. All necessary environmental permits applicable to the project must be obtained from NCDOQ, USACE &/or FEMA for any encroachment buffer, wetland &/or floodplain impacts (respectively) prior to construction
11. NCDDT - Railroad Encroachment Agreements are required for any utility work (including main installation & service taps) within storm or railroad ROW prior to construction
12. Grease Interceptor / Oil Water Separator sizing calculations & installation specifications shall be provided to the City of Raleigh Public Utilities Department for review and permitting
13. Contact Tim Seasey at (919) 986-2334 or timothy.seasey@raleigh.gov for more information
14. American Society of Mechanical Engineers (ASME) standards shall be used for all steel devices and seals
15. Adopted as Section-B of the Rules Governing Public Works Systems in North Carolina. These guidelines are the minimum requirements. The devices shall meet American Society of Mechanical Engineers (ASME) standards for design and construction
16. The devices shall be installed and tested (both initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the local cross-connection control agency
17. Contact the City of Raleigh Public Utilities Department, Monica Hartley at (919) 986-9223 or joanle.hartley@raleigh.gov for more information



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BY: *[Signature]* DATE: 11-19-2020
TOWN ENGINEER

THESE PLANS ARE APPROVED BY THE TOWN OF KNIGHTDALE AND SERVE AS CONSTRUCTION PLANS FOR THIS PROJECT.

BY: *[Signature]* DATE: 11/19/20
ADMINISTRATOR

Portland Cement Concrete Testing Requirements

Initial Test: The initial test (from first ready-mix truck) is to be taken after the second cubic yard is dispensed from the mixer and is to consist of the following:

- 1. One slump test
- 2. Three cylinders pulled, prepared and stored on-site for 24 hours
- 3. Temperature recording

Subsequent Tests: After the above tests are pulled from the initial truck, every 5th truck thereafter is to be tested in the same manner as noted above.

Identical Tests:

Asphalt Concrete Testing Requirements

Compaction: Testing for asphalt density is to follow NCDOT "Standard Specifications for Roads and Structures", Section 609-9, "Field Compaction Quality Management", latest revision.

Thickness: The minimum for thickness is to be determined on the basis of test sections consisting of not more than 1500 linear feet of lay down width, exclusive of intersections and irregular areas. The test sample is to be a 6-inch core sample. The sample is to be numbered and logged for purposes.

Contractor's Quality Control System: Follow NCDOT "Standard Specifications for Roads and Structures", Section 606-5, "Contractor's Quality Control System", latest revision.

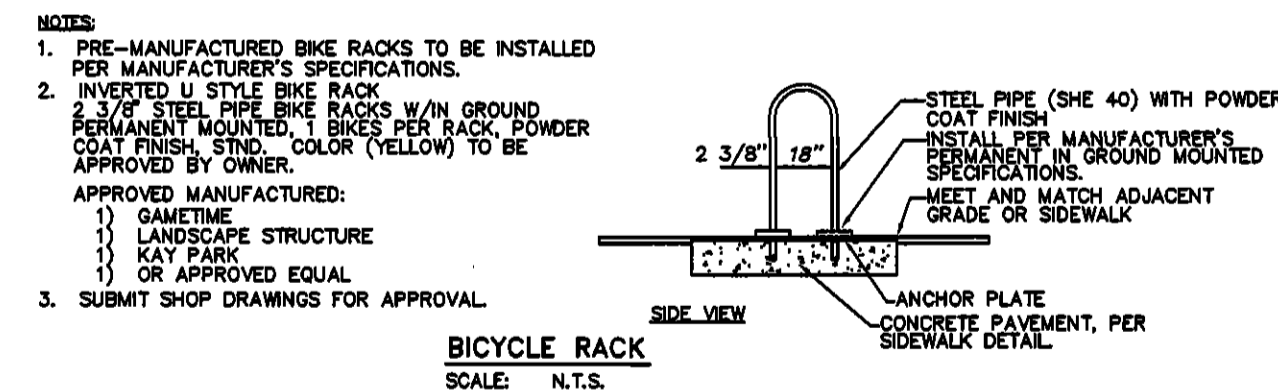
Mixture Design: Follow NCDOT "Standard Specifications for Roads and Structures", Section 609-4, "Field Verification of Mixture and Job Mix Formula Adjustments", latest revision.

General: All other applicable sections of Section 606 of the NCDOT "Standard Specifications for Roads and Structures" shall apply relating to Quality Control Plan, mix design, control limits, corrective action, equipment and measurement.

Testing Cost: Site Contractor is responsible for cost of testing.

2. All construction, placing, pouring and curing concrete is to conform to the latest edition of ACI 318.
3. All reinforcing steel is to be cold cut and bent in conformance with the latest edition of ACI 318 and ASTM A-615.
4. Portions of Concrete shall have a minimum 28-day compressive strength of 4,000 PSI (or noted), a non-vibrated slump between 2.5 and 4-inches, a minimum cement content of 545 pounds per cubic yard, or entrainment of 5-7 percent and a maximum water-cement ratio of 0.545 in accordance with Class B concrete per ACI 318. All concrete shall be placed and cured in accordance with ACI 318. Structures unless otherwise specified.
5. Do not use chloride in any concrete which has reinforcing steel or wire fabric.
6. Do not use steel mesh ASTM A-615, Grade 60. Welded wire fabric shall meet ASTM A-185. The wire shall conform to ASTM A-82.
7. All concrete shall have a minimum of one mesh. Lap all bars a minimum of 24 inches. Alternate adjacent bars splices a minimum of 48".
7. Use only approved chairs with snap plates to support reinforcing on grade.
8. Concrete shall be placed and cured in accordance with ACI 318. Supports for reinforcing bars against movement during pour and finish operation. Supports for reinforcing bars to be a minimum of 48 inches apart. Concrete shall be only plant-mixed, trench-mixed or ready-mixed concrete. The time elapsed from concrete being placed to the time of finishing shall not exceed 90 minutes.
9. Concrete shall not be deposited on frozen subgrade and shall not be poured when the air temperature for the succeeding 24-hour period is less than 32 degrees F.
10. Concrete shall be placed and cured in accordance with ACI 318. Between 50 degrees F and 90 degrees F concrete shall be maintained at a temperature of not less than 50 degrees for at least 72 hours for normal concrete and 24 hours for high early strength concrete.
11. Concrete shall be placed and cured in accordance with ACI 318. A dry subgrade. Moisture subgrade before placing concrete.
12. Subgrade is to be firm, free of water and/or salt and undisturbed or compacted properly. Consult Engineer if soft or yielding subgrade is encountered for improvement directions. If ground water is not entering the structure the forms have been removed and all honeycombed areas repaired backfill to prevent underwash.
13. Areas of concrete to be removed shall be saw cut before removing. The saw cut shall provide a smooth, straight edge approximately two (2) inches deep before breaking away the adjacent concrete.
14. Improvements of the forms have been removed and all honeycombed areas repaired backfill to prevent underwash.
15. The concrete of the concrete surface shall be done transverse to the direction of traffic for all pedestrian areas.
16. Joint spacing shall be no less than 8'-feet. Where existing sidewalks are being widened, grooved joints shall be spaced so as to line up with existing joints in the adjacent existing sidewalk. Grooved joints shall not be sealed.
17. Concrete Sub shall be responsible for all score joints and expansion joints. A preliminary score joint pattern and expansion joint pattern shall be submitted to the project engineer for review prior to pouring concrete.
18. Expansion joints shall be one-half (1/2) inch in width and shall be placed between all right objects at a distance of 10 feet or less than 30 feet. The joint shall extend the full depth of the concrete with the top of the filler one-half (1/2) inch below the finished surface.
20. The edges of the curb/sidewalk shall be finished with an approved edging tool one-half (1/2) inch radius.
21. The concrete shall be finished with a trowel immediately after the concrete has been placed.
22. Saw control joints as soon as fresh concrete will retain coarse aggregate against the sawing action.
23. Contractor SHALL NOT POUR any concrete before forms are inspected by the project engineer and/or the owner. The project engineer and/or owner shall be responsible for the inspection and approval of the concrete. The contractor shall be responsible for the inspection and approval of the concrete and/or owner will be the responsibility of the contractor.

1. Boxes may be reinforced masonry, masonry, precast concrete or cast-in-place reinforced concrete.
2. The maximum height of an un-reinforced masonry drainage structure with 8" walls shall be limited to 8' - 0" from the invert of the outlet pipe to the top of the casting. Depths greater than 8' - 0" shall have walls 12" thick. The maximum depth shall be designed by a Professional Engineer. 4" walls are not allowed on drainage structures.
3. Steps are to be provided on all basins deeper than 42".
4. Boxes are to be PSI-901 on manufacturers W. A. Industries or an approved equal. Locate on non-pipe walls.
5. Mortar in masonry boxes is to be type M.
6. Gray brick structures are not allowed.
7. Concrete pipe is to be minimum Class III reinforced concrete meeting ASTM C-76, latest revision.
8. Concrete building blocks are to meet ASTM C-55, Grade N, Type 1.
9. All iron castings are to be drilled and lagged to the drainage structure. The drainage structure as well as the lagging is to be galvanized.
10. All cast-in-place or precast concrete drainage structures located in paved areas accessible to truck loadings be designed to meet AASHTO HS 20-44 loading. See manufacturers details for wall, top and bottom bolting.
11. All frames, grates, and hoods to receive a bluminothous coating.



1. Site Contractor to inform General Contractor to verify finished grade at building before digging footings. Some portions of the building foundation wall may, of necessity, need to retain building pad fill to allow exterior grades to be dropped. In this case, spot fillings may be necessary to achieve the desired grade variations.
2. New finished contours shown are top of future paving in areas to receive pavement and top of topsoil in areas to be seeded or sodded.
3. Areas between the parking lot and perimeter slopes to be seeded shall receive 4 inches of topsoil. This topsoil to be placed and leveled by the Contractor.
4. Dimensions on buildings are for grading purposes only and are not to be used to lay-off footings. See architect's Plans.
5. Contractor shall notify and cooperate with all utility companies or firms having facilities on or adjacent to the site before disturbing, altering, removing, relocating, adjusting or connecting to said facilities.
6. Contractor shall remove and replace all existing materials, as required, to match finished grades.
7. All catch basin grids and frames are to be Vulcan or approved equal. Verify that dimension heights on catch basins are not exceeded and that catch basins are installed before surfacing subgrade.
8. Areas not covered by an impervious surface or finished planting beds are to be graded.
9. Unusable excavated materials and all waste resulting from clearing and grubbing shall be disposed of off-site by Contractor.
10. All excavated material is unclassified and shall include all materials encountered.
11. Before any machine work is done, Contractor shall stake out and mark the items established by the Owner's Control Point and Stationing. The Contractor shall be responsible for the project, the work of working points and grade stakes may require cessation of operations until such points and grades have been placed to the Owner's satisfaction.

1. **Subgrade on Precompacted Original Soil**
 - a. Remove all the topsoil and all questionable organic soil and extend a minimum of four (4) feet beyond the proposed subgrade line. Shoddy fill material that is free from topsoil particles for re-use.
 - b. Precompact the exposed grade with a vibratory roller weighing a minimum of ten (10) tons (static load) or equal to stabilize the initial settlement of the top strata of the soil. The stability of the subgrade will be determined by adequate settlement of the soil. The settlement of the soil for the vibratory roller should not exceed 1/8". Any area that settles excessively and fails to stabilize under continued rolling should be further undercut and replaced with properly compacted select granular fill.
2. **Subgrade on Certified Compacted Fill**
 - a. Prior to the start of the same procedures as outlined in Items 1 and 2 above.
 - b. Using the same compaction equipment as outlined above, compact new fill soil in 4- to 8-inch layers to 98-percent or greater compaction of optimum moisture content in accordance with the Standard Proctor Method, ASTM Standard D 998 or as controlled in accordance with ASTM Standard D 2167-94, or equal. The top one (1) foot of the prepared fill subgrade should be compacted to 98 percent or greater compaction of optimum moisture content.
 - c. The end of the fill should be terminated at the minimum slope of two (2) horizontal to one (1) vertical measured from three (3) feet beyond the outside edge of the pavement to the toe of the fill. The fill should select a minimum of 12 inches of compacted fill.

1. Contractor to provide full water service to site including meter, setting, and connection fees in his bid.
2. The Site Contractor is to assume responsibility for all water and sewer utilities from a point S' outside of the building to the point of public connection.
3. Contractor to furnish all paint stripping.
4. Contractor to furnish all paint, dumpsters or recycle bins. These will not be provided by Town.
5. A Geotechnical Investigation was prepared for this project. Contractor is responsible for digging site, if desired prior to bid. Contact Engineer at 252.458.9196 at least 48 hours prior to want to gain access.
6. All site plumbing is to meet the NC State Building Code, Volume II, Plumbing.
7. Sewer service to be HDPE 1 1/4 inch minimum size, 40' minimum depth, to the sewer center.
8. Sewer services to be PVC, service weight. Minimum grades for 4-inch lines to be 2:08--percent.
9. Sewer services to be 40' minimum depth.
10. Provide handicap signs, markings and ramp per the details.
11. All signs, pavement markings, and other traffic control devices are the Site Contractor's responsibility and must be installed prior to the start of construction. Traffic control devices, current edition, as amended: AASHTO guidelines; and, ANSI A17.1.
12. All divisions are to be face of curb unless indicated otherwise. Staking plan coordinates are to be back of curb.
13. Contractor shall coordinate installation of all signs, pavement markings, and other traffic control devices with the Police Department.
14. Contractor shall saw-cut to provide smooth transition at tie-in to existing edge of pavement.
15. Do not pour any concrete before forms are inspected and approved by Engineer/Owner.
16. Contractor shall comply with all pertinent provisions of the "Manual of Accident Prevention in Construction" published by the American Institute of Steel Construction, Inc. and the Safety and Health Regulations for Construction issued by the U.S. Department of Labor.
17. Storm drainage pipe is to be Class III reinforced concrete meeting ASTM C-76, latest revision.
18. All holding tanks are to be installed in accordance with the Accessory Building Code as detailed in Federal Register, Vol. 58, No. 144, dated July 26, 1991, rules and regulations activated January 26, 1992, latest revision. Also, refer to North Carolina State Building Code Volume 1-C, "Holding Buildings and Facilities." Access to and Use by the Physically Handicapped", 1991, latest edition and ANSI A117.1, current edition, as amended.

1. This plan must be approved by the Town of KNIGHTDALE prior to construction of any street, water, storm drainage or other site improvements on this plan.
2. All improvements shall conform to the Town of KNIGHTDALE Standards and Specifications or NCDOT, as applicable.
3. Detailed area is greater than 100,000 sq. ft. requires Sedimentation & Erosion Control approval as applicable.
4. If the proposed project requires a permit from the Town of Knightdale, the applicant shall be required as a condition of construction plan approval. Measures shown on the approved Erosion & Sedimentation Control Plan should be required to be implemented.
5. If the proposed project requires a permit from the Town of Knightdale, the applicant shall be required to implement additional measures shall be put in place as needed to insure that no sediment is released from the site.
6. The General Contractor is responsible for installing and maintaining all measures necessary to ensure that all sediment is contained on-site.
7. Omitted.
8. Stormwater detention and nutrient management does not apply.
9. Road and driveway construction shall be due on this date prior to setting of posts or meters. Contact Town of KNIGHTDALE for payment information.
10. Contractor shall make arrangements with the local utility authority for connection to existing mains. Do NOT operate any existing works without permission of the Town of KNIGHTDALE.
11. Water meters supplied by contractors shall contain encoder register and module for radio transmitted information per Town of Knightdale Standard.
12. For the installation of electrical services, location of pad-mounted transformer if needed and to coordinate electrical termination services, contact Public Utilities at Town of KNIGHTDALE.
13. Any relocation of existing utilities shall be at the cost of the General Contractor. The Town will not accept responsibility for damages to curb and gutter or street improvements if installed prior to undergrounding.
14. If the proposed project requires a permit from the Town of Knightdale, the applicant shall be required to install underground services.
15. Contractor shall be responsible for all work zone traffic control in or adjacent to ROW. All signs, pavement markings and other traffic control devices shall conform to the Manual on Uniform Traffic Control Devices (MUTCD), latest edition as amended.
16. Traffic control devices, including fire hydrants, shall be installed and in service prior to recording the subdivision, or, if no subdivision is involved, shall be installed prior to the placing of combustible materials for storage or combustible materials for use in the construction of bulk structures. If phased coordination is planned, coordinate installation of the fire protection water system is permitted.
17. All permanent utilities, including all structures under construction shall be provided at all times. In areas where ground surfaces are soft or likely to become soft, hard soil weather surface areas shall be provided and maintained.
18. All structures shall be constructed in accordance with the Town of Knightdale 3-1-1.
19. Every street will utilize a complete Street Name consisting of a Base Name and Type Suffix (e.g., Main Street).
20. Assigned Address must be issued via Downing and Associates, Inc. ADDRESSING CERTIFICATE completed by the Town of KNIGHTDALE.
21. Coordinated Address. General Contractor to coordinate.
22. Address Property Address Numbers shall be a minimum of ten (10) inches in height with a minimum stroke width of one (1) inch. These numbers shall contrast with their background and shall be Arable style numbers.
23. Address Numbers must be posted on the front of the structure nearest to the main entrance in a position to be plainly legible, visible and unobstructed from the road fronting the property.
24. Reference horizontal datum is NAD 83. Vertical datum is NAVD 88.
25. Plans are based on an actual field survey performed by Downing and Associates, Inc.
26. Contractor to verify all building dimensions and/or location(s) with architectural drawings before beginning construction. If discrepancies are found, cease construction and consult the architect and civil engineer for resolution.
27. All HVAC equipment shall be screened from the view of all public street rights-of-way for their entire length along those streets, except for necessary access.
28. For the installation of gas services, contact Public Utilities.
29. The customer is required to provide an outside lockable disconnect.
30. All gas line equipment must be sized prior to installation of utilities.
31. Call NC One Call Center at (800) 652-4696 before digging to locate existing utilities.
32. If overhead primary electric lines are present, average tree height shall not exceed 15 feet.
33. Copies of all permits and approved plans must be kept on site in a conspicuously located and easily accessible during construction. This includes approved plan sheets, approved zoning control plan, encroachment agreements, driveway permits, water/sewer permits, etc.
34. Plan approval is valid for two (2) years from approved date.

1. No Sewer line installation shall take place until an approved Site Plan has been issued.

2. **Sewer Pipe:**
a. SDR-35 SMOOTHWALL: Pipe shall conform to ASTM D-3034 Type PSM, SDR-35.

3. Pipe bedding shall be Class B modified (i.e. stone to top of pipe).

4. Any well pointing, dewatering, etc. needed during sewer construction is to be included in the cost of the sewer. The owner will fill in any open trench or borrow borrow when needed. If material of a casted nature is not available, bring in from off-site.

5. The minimum clearances for water, sewer and storm drainage lines shall be as follows:

	Horizontal	Vertical
Between Water and Sewer	10'	18" w/ water above sewer
Water and Storm/Drainage	-	12" w/ water above storm drainage
Sewer and Storm/Drainage	-	24" w/ storm drainage above sewer

6. The Contractor shall make arrangements with the local utility authority when connecting to existing manholes or mains.

7. Location, size and invert elevations of clean outs on "private" services are to be coordinated with the existing Plumbing Department of the building. Plumbing is to meet the requirements of the NC State Building Code, Volume II, Plumbing, latest revision.

8. Contractor shall seek, mulch and take all disturbed areas within 7 days after backfilling trench. All contractor equipment and vehicles shall be kept in the location until a stand of grass is established and the area is capable of resisting erosion by wind and rain. All erosion control measures shall be removed when authorized by the Engineer after the completion of the project.

9. All excess dirt, wood and rocks shall be disposed of offsite by the Contractor. Bury will not be permitted onsite.

10. Contractor shall take proper precautions not to disturb existing property corner markers. All construction shall conform with all regulations set by a Registered Land Surveyor.

11. All cost for the provision of erosion control rip rap, lime mashing, matting, grass seeding and silt fence shall be included in total bid price.

12. Contractor shall provide "wettable quality" confined and require compliance with OSHA "Confined Access Entry" requirements. Certified equipment, proper notification and other applicable equipment and/or devices may be necessary to protect workers, after system is operational, from hydrogen-sulfide gas.

13. The contractor shall provide to Engineer, upon completion of water and sewer construction, record drawings of the sewer installation specifically showing/depicting any deviations from the permitted plans. Plans are to be marked surveyed and submitted with the Engineer. The final payment request will not be submitted to the owner nor a "certificate of substantial completion" be issued until these "surveyed plans" have been completed and received by the Engineer.

14. Utility Contractor is responsible for notifying local authority of time and date he plans to commence construction.

15. Where lines cross gravel/casphalt/drives, Contractor is to restore driveways to the original condition. Drives shall be repaved within 7-days of open cut.

16. Satisfy Sewer shall be in accordance to Town of KNOX/DHDA Standards and Specifications.

17. All Frames and Lids to receive a bituminous coating.

1. No existing valves and/or hydrants shall be operated without the explicit permission from the Public Utility Owner. The contractor shall make arrangements with the local utility authority prior to connecting.
2. Contractor shall seed, mulch, and keep all disturbed area within 7 days after backfilling trench. All sedimentation control measures shall be taken in operable condition until a stand of control measures are in place.
3. All excavated wood and rocks shall be disposed off-site by the Contractor. Bury will not be allowed.
4. Water line crossing existing asphalt pavement shall be installed by the Open Cut method.
5. Where lines cross gravel/asphalt driveways, Contractor is to restore driveways to the original condition.
6. Contractor shall install 7" rigid pipe with 12" bedding.
7. Contractor shall take proper precautions not to disturb existing property corner markers. All disturbed property corner markers shall be replaced by a Registered Professional Surveyor.
8. All trenching shall be done in a single pass. No backfilling, mottling, or bedding and all fence shall be included in the total base bid.
9. The Contractor is responsible for notifying local authority of time and date plans to commence construction.
10. Any utility pointing, dewatering, etc. needed during construction shall be the responsibility of the Contractor. Trench borrow needed during construction shall be included in the cost of the line laid, unless otherwise specified.
11. The trench box to be 3' pipes telescopic with concrete collar when not in pavement.
12. The contractor shall provide all the material and appurtenances necessary for the complete installation of all pipe and appurtenances.
13. Lines shall be flushed thoroughly to remove all dirt and debris. Chlorine shall be applied to all water lines in sufficient concentration to leave an overall residual of 50 ppm. The chlorinated water shall be flushed out of the lines and replaced with clean water. The chlorine residual shall be 10 ppm. The lines shall then be flushed until there is normal chlorine residual present and samples shall be taken for bacteriological analysis.
14. The contractor to conduct bacteriological testing of water lines, which have successfully passed hydraulic testing and have been disinfected in conformance with AWWA Standards. This procedure shall be subject to review by the local health department.
15. No contractors are authorized to use un-manned water during construction. All pipe and appurtenances shall be thoroughly cleaned prior to placement. Pipe shall be laid with straight lines on a firm, level surface and shall be properly supported. The pipe is not being laid on the ground, so ends shall be securely blocked.
16. All pipe and appurtenances shall include all materials encountered.
17. All concrete used for blocking and concrete collars is to be minimum 3,000 psi at 28 days, air entrained.
18. Contractor shall saw-cut to provide smooth transitions where existing asphalt is to be removed.

The following notes do not represent the belief of any municipality, government organization, or client of Stocks Engineering. The detail is included to show the foundation of Stocks Engineering and its employees. Our lawyer is not through the truth outlined below you will clearly see what it means to have a personal relationship with Christ.

GOD'S LOVE
 God loves you and he created you to know him personally.
 He has a wonderful plan for you life.
 John 3:16 "For God so loved the world that he gave his only son, so that whoever believes in him shall not perish but have eternal life."
 What prevents us from knowing God personally?

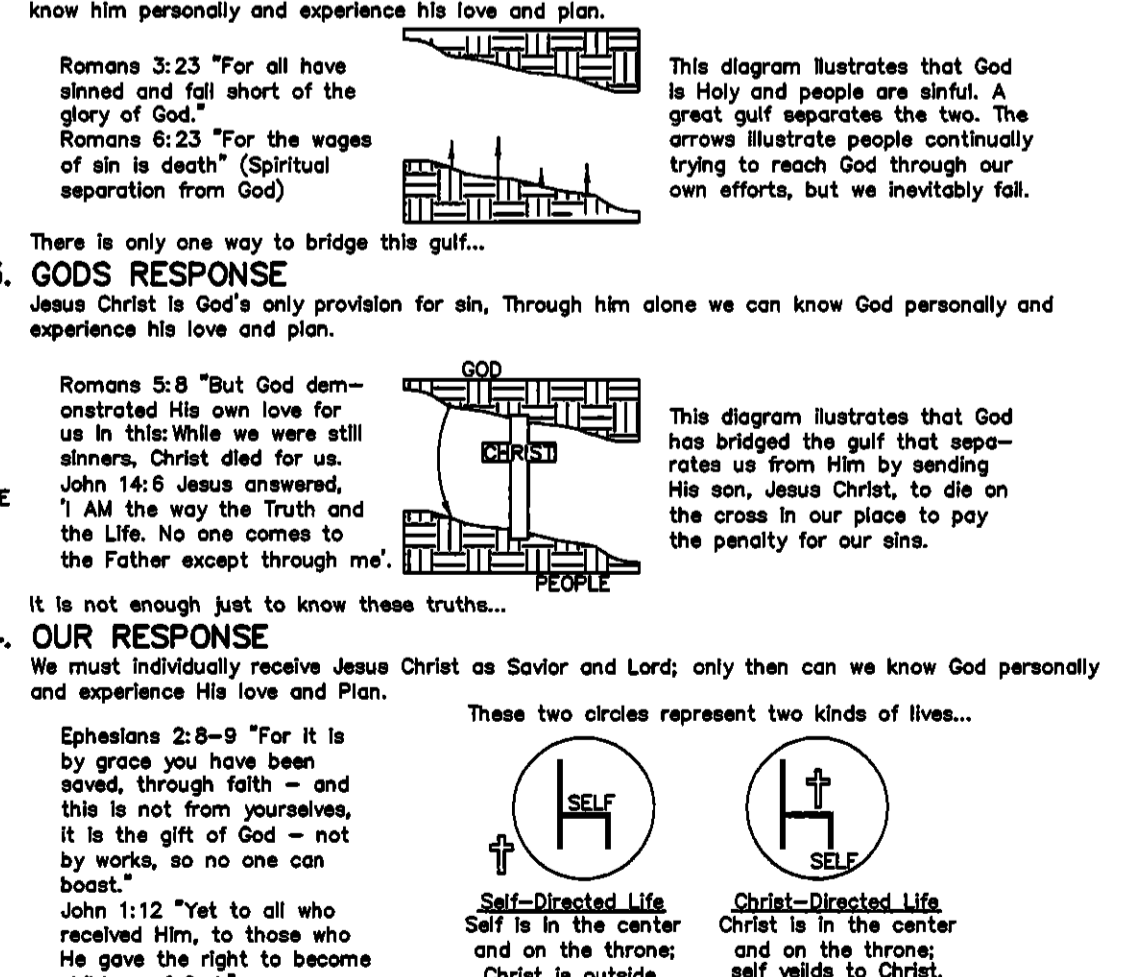
OUR CONDITION
 People are sinful and separated from God, therefore we cannot know him personally and experience his love and plan.

Romans 3:23 "For all have sinned and fall short of the glory of God."
 Romans 6:23 "For the wages of sin is death" (spiritual separation from God)

This diagram illustrates that God is Holy and people are sinful. A great gulf separates the two. The arrows illustrate people continually trying to reach God through their own efforts, but we inevitably fail.

There is only one way to bridge this gulf...

GOD'S RESPONSE
 Jesus Christ is God's only provision for sin, through him alone we can know God personally and experience his love and plan.



Romans 5:8 "But God demonstrates His own love toward us, in that while we were still sinners, Christ died for us."

Ephesians 1:6-7 "...that He might show us the surpassing knowledge of His glorious mystery which was hidden from the beginning of time in Him who created all things, so that through His word the church would be built up, in order that we might present ourselves as holy, blameless and without blemish to Him at the time of the glorification of His sons, Jesus Christ, to die on the cross in His place to pay the penalty for our sins."

It is not enough just to know these truths...
OUR RESPONSE

We must individually receive Jesus Christ as Savior and Lord; only then can we know God personally and experience His love and Plan.

These two circles represent two kinds of lives...

Self-Directed Life
Self is in the center
on the throne;
Christ is outside.

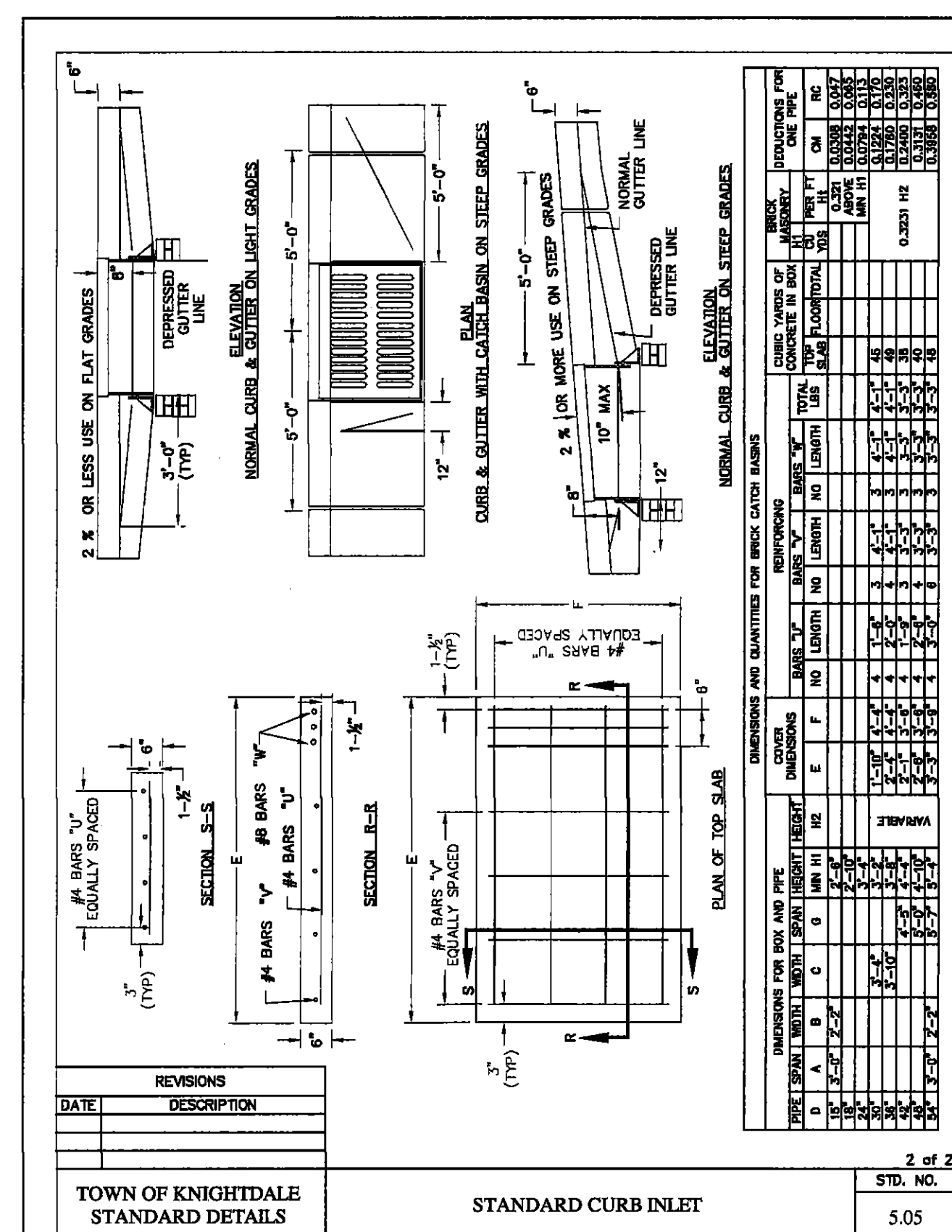
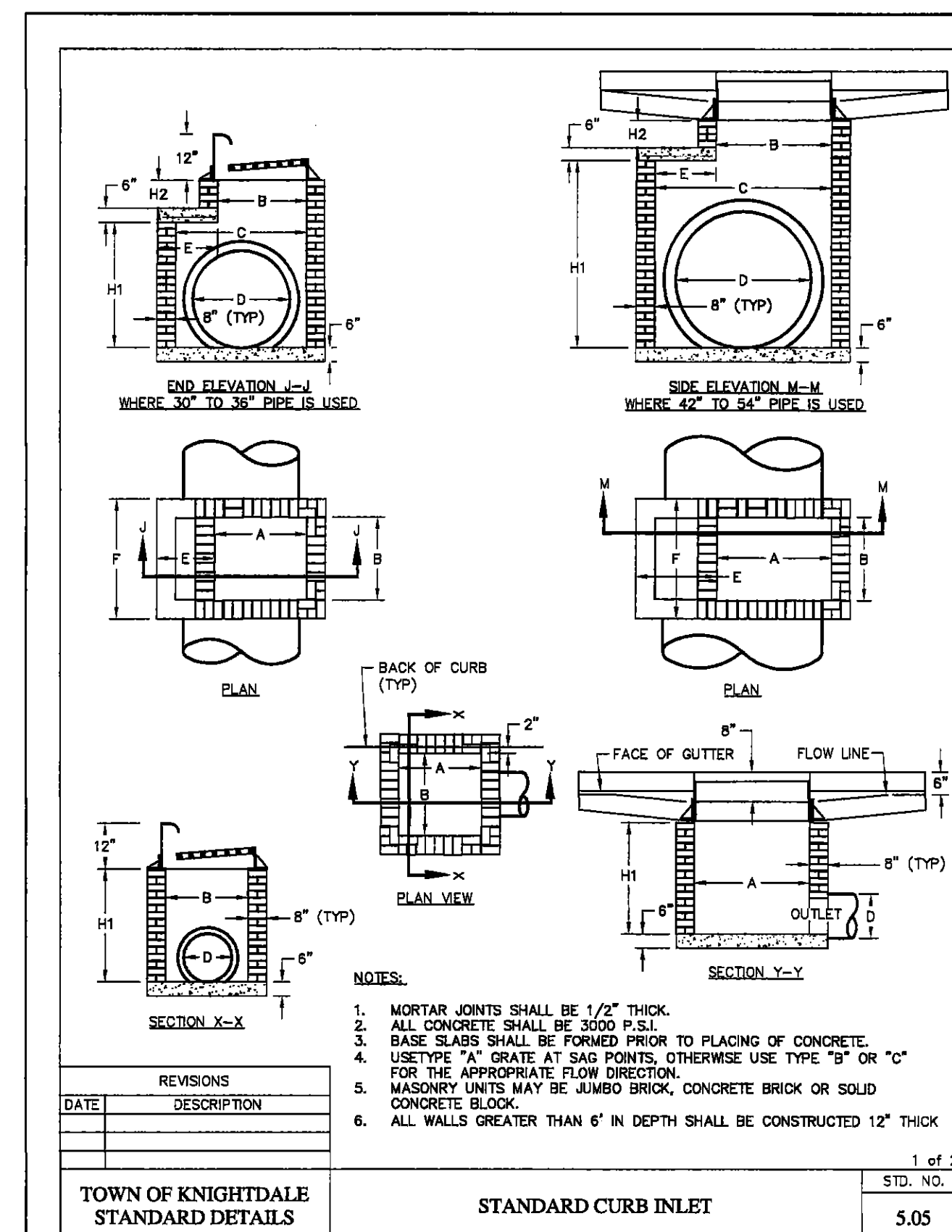
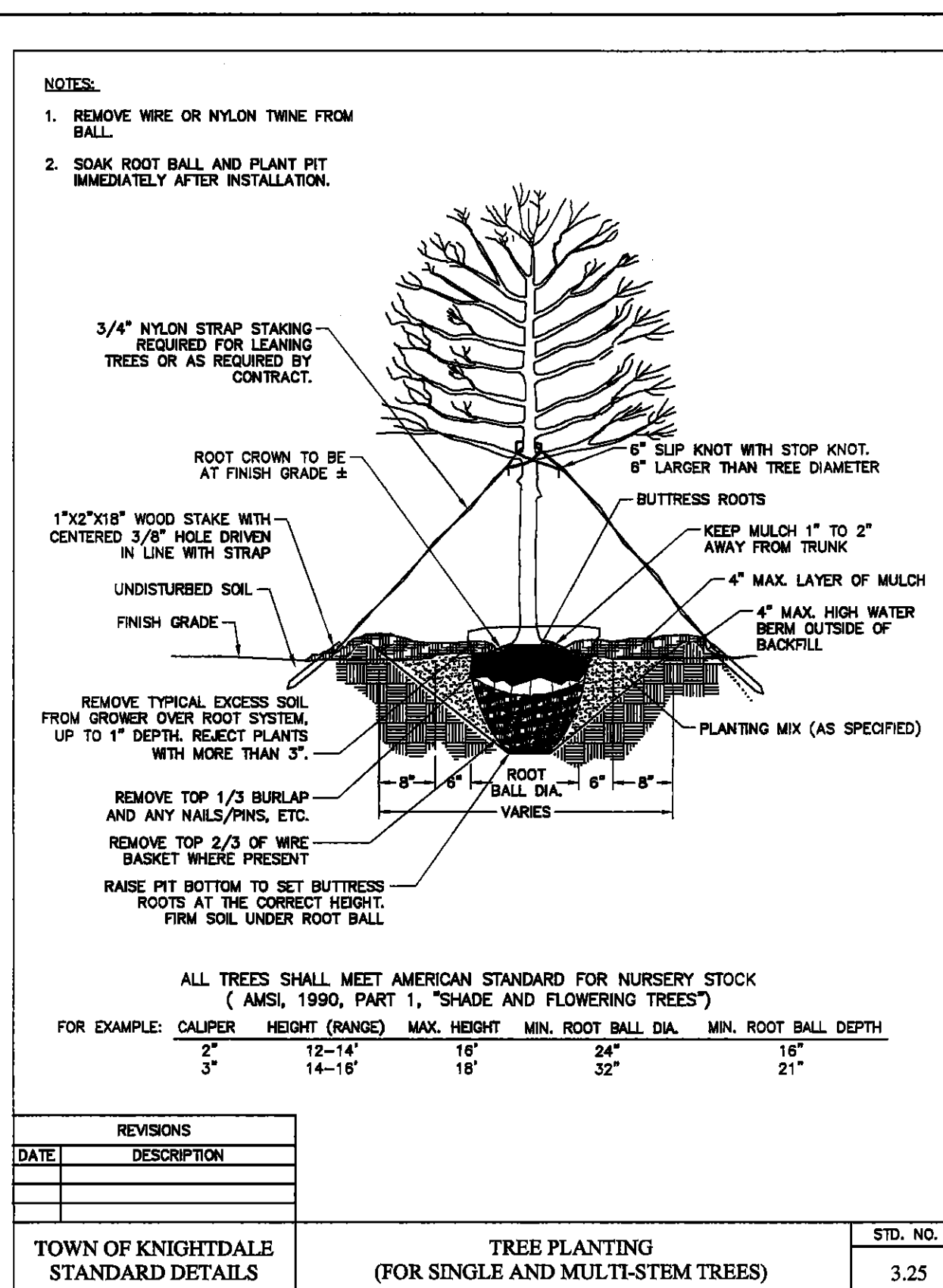
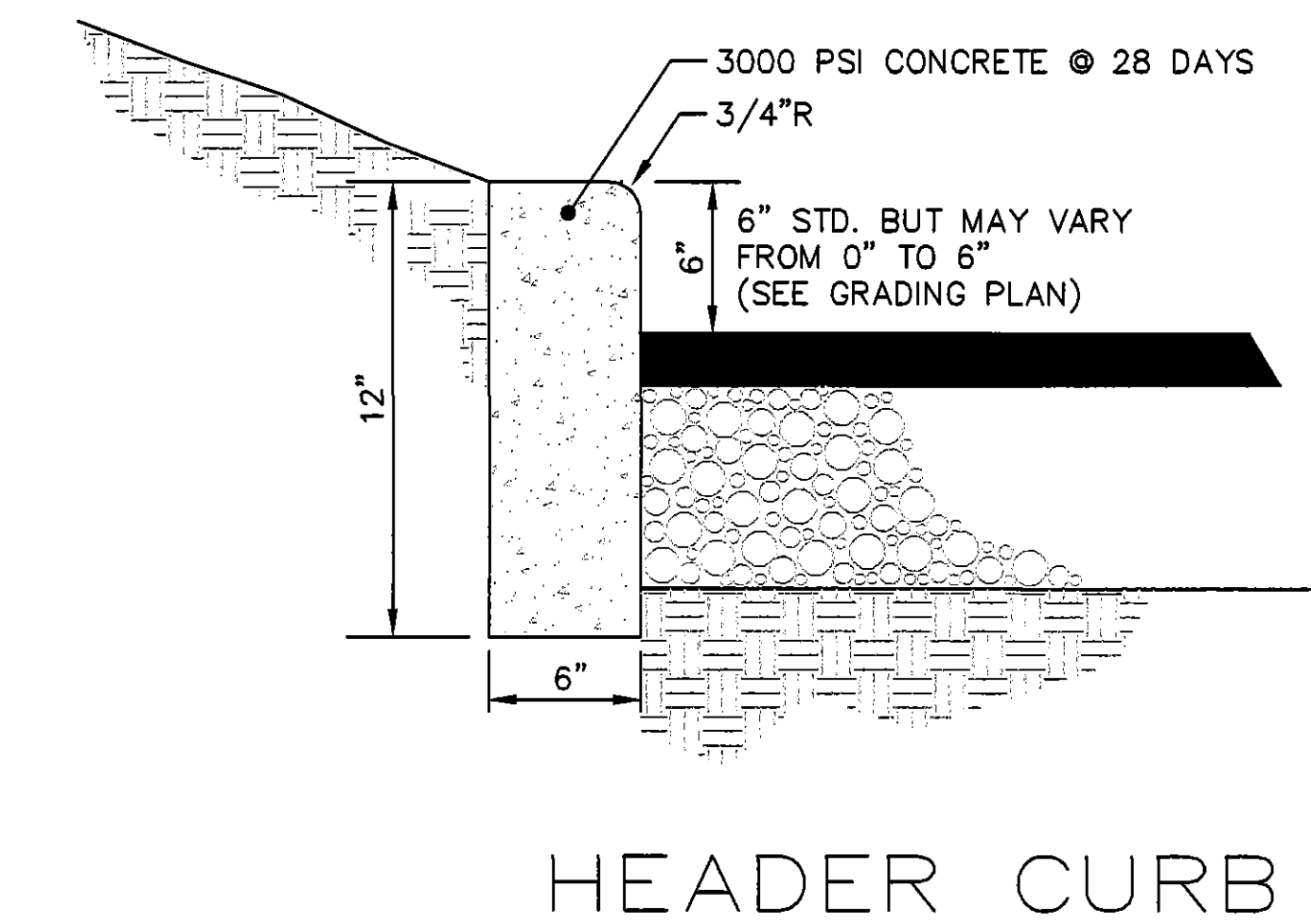
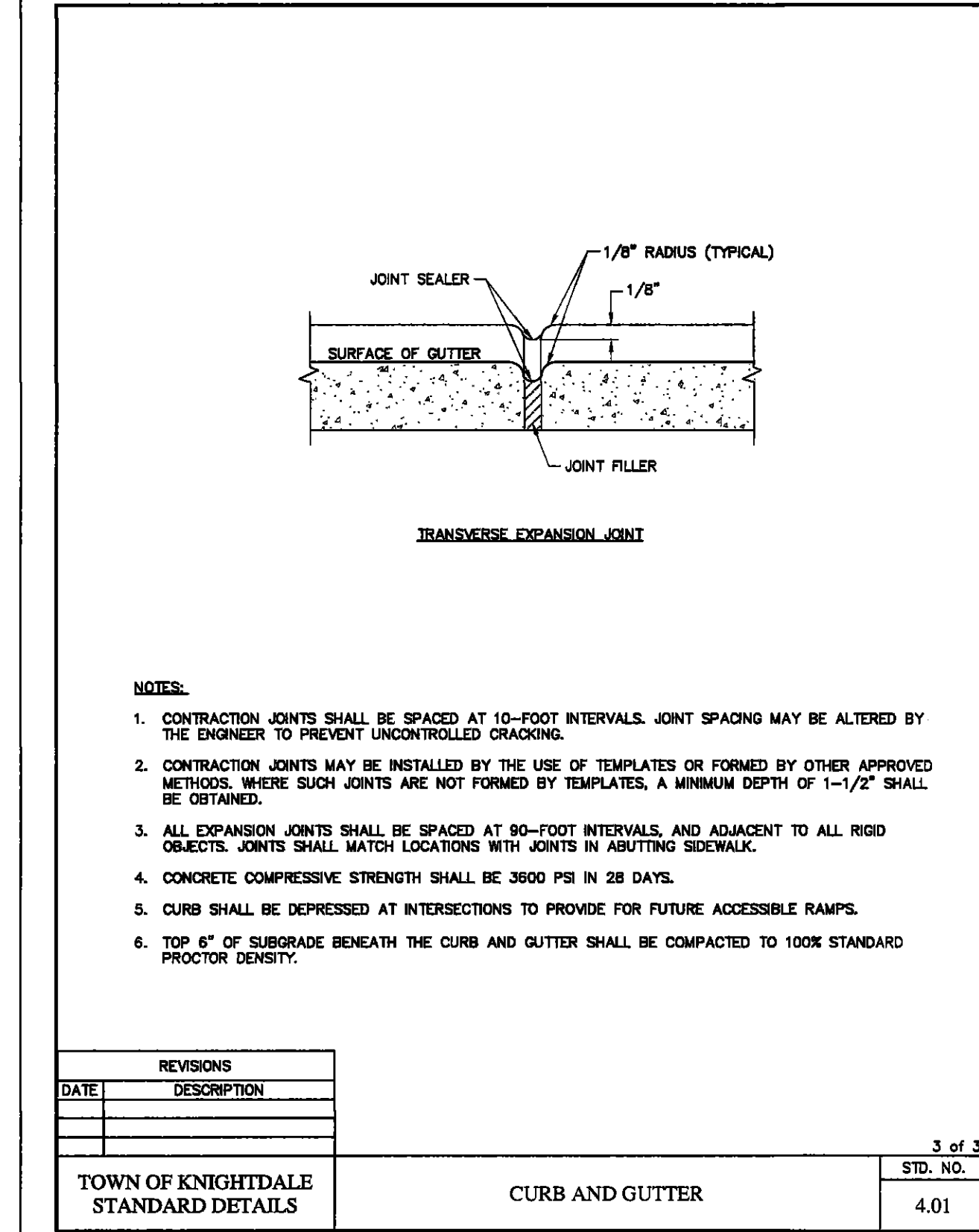
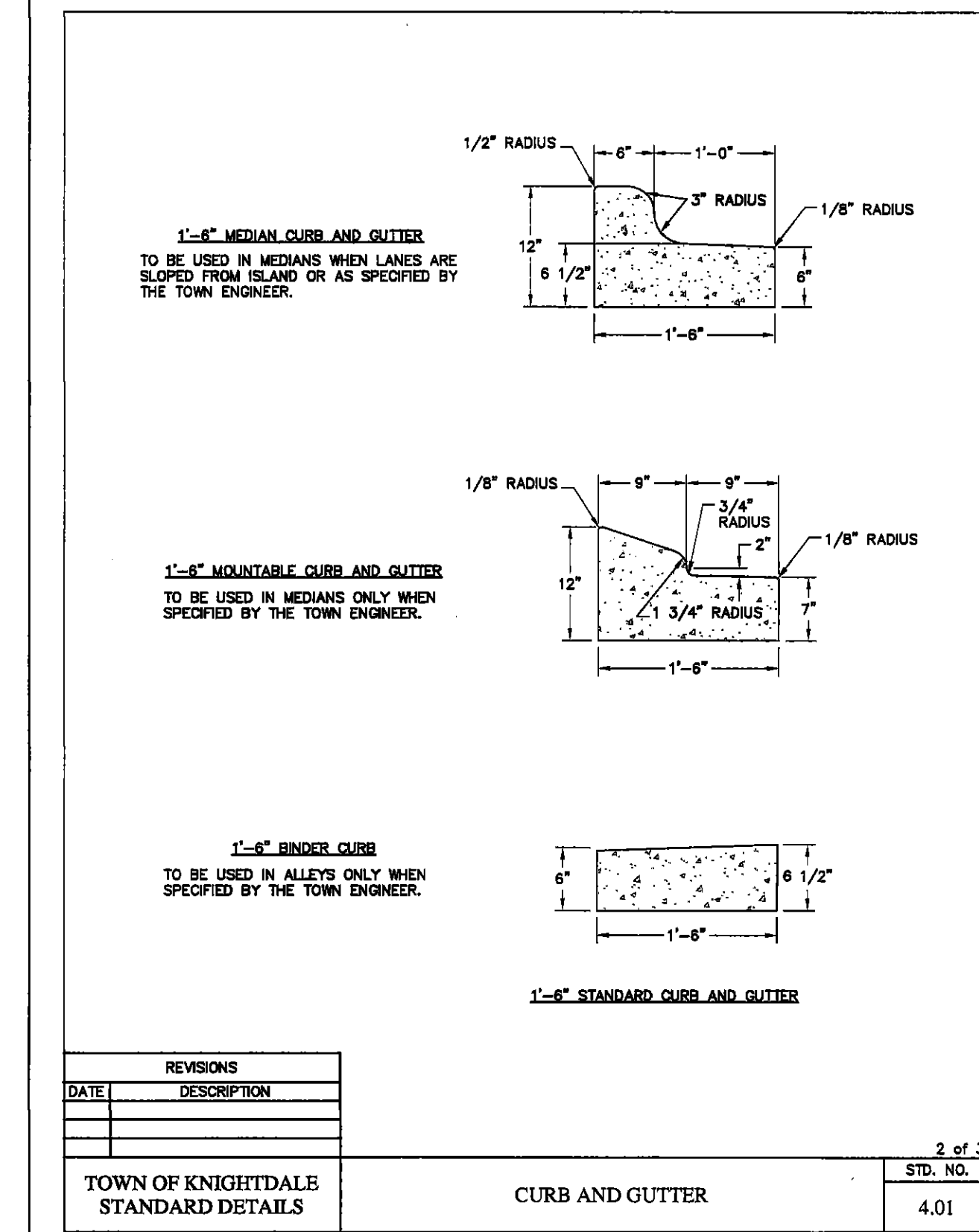
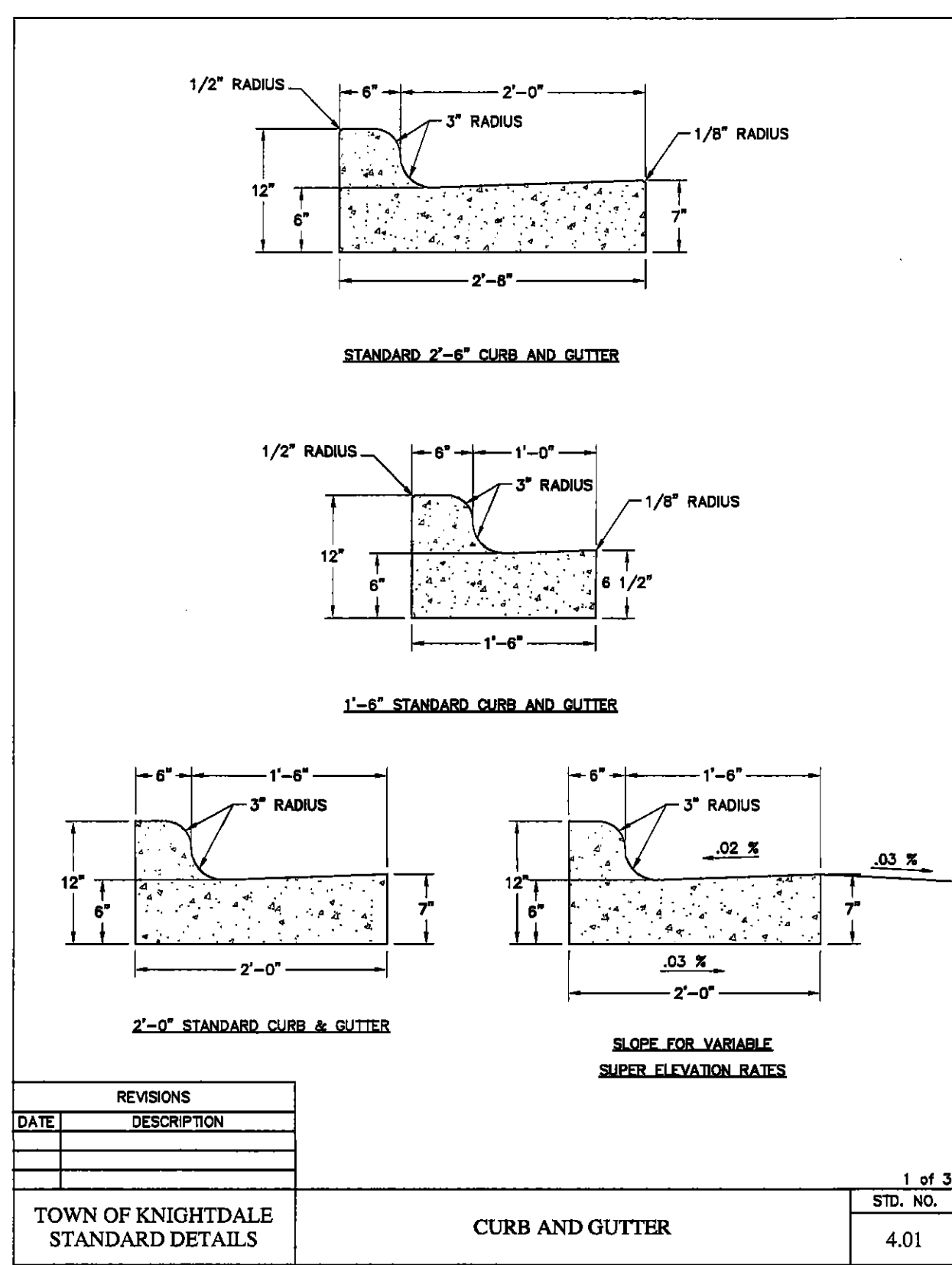
Christ-Directed Life
Christ is in the center
on the throne;
self yields to Christ.

Which circle best represents your life?

Which circle would you like to have?

You can receive Christ right now by faith in prayer:
"Lord Jesus, I need you. Thank you for dying on the cross for my sins. I open the door to my life and allow you to enter. Thank you for forgiving my sins and giving me eternal life. Take control of the throne of my life. Make me the kind of person You want me to be."
Then, because of the desire of your heart, then you can pray this prayer and Christ will come into your life as promised.

For more information on what it means to have a relationship with God, or if you have any questions or prayer request please email them to atstokingeering@gmail.com or call us at 232-456-8106, or visit our web site, www.atstokingeengineering.com.



TOWN CERTIFICATION

THIS DESIGN HAS BEEN REVIEWED BY THE ENGINEER FOR THE TOWN OF KNIGHTDALE, AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, IT CONFORMS TO THE REQUIREMENTS ESTABLISHED IN THE STANDARD SPECIFICATIONS OF THE TOWN OF KNIGHTDALE.

BY: [Signature] DATE: 11/19/2020
TOWN ENGINEER

THESE PLANS ARE APPROVED BY THE TOWN OF KNIGHTDALE AND SERVE AS CONSTRUCTION PLANS FOR THIS PROJECT.

BY: [Signature] DATE: 11/19/2020
ADMINISTRATOR

STOCKS ENGINEERING

801 EAST WASHINGTON STREET
NASHVILLE, N.C. 27556
PHONE: (252) 459-5196
WWW.STOCKSENGINEERING.COM

BLN-C-1874

310 ARCHITECTS - KNIGHTDALE CRAFT KITCHEN

KNIGHTDALE, NORTH CAROLINA

SITE NOTES AND DETAILS

REVISIONS

8/24/20 MASTER PLAN SUB.

9/14/20 CD REVISIONS

FILE NO. 2019-008

HORIZ. SCALE: AS NOTED

VERT. SCALE: NONE

D-02

PART III
SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION A: SELF-INSPECTION

Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the Inspection Record.

Inspect	Frequency (during normal business hours)	Inspection records must include:
(1) Rain gauge maintained in good working order	Daily	Daily rainfall amounts. If no daily rain gauge observations are made during weekend or holiday periods, and no individual-day rainfall information is available, record the cumulative rain measurement for those un-attended days (and this will determine if a site inspection is needed). Days on which no rainfall occurred shall be recorded as "zero." The permittee may use another rain-monitoring device approved by the Division.
(2) E&SC Measures	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. Identification of the measures inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection, 4. Indication of whether the measures were operating properly, 5. Description of maintenance needs for the measure, 6. Description, evidence, and date of corrective actions taken.
(3) Stormwater discharge outfalls (SDOs)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. Identification of the discharge outfalls inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection, 4. Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids or discoloration, 5. Indication of visible sediment leaving the site, 6. Description, evidence, and date of corrective actions taken.
(4) Perimeter of site	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	If visible sedimentation is found outside site limits, then a record of the following shall be made: 1. Actions taken to clean up or stabilize the sediment that has left the site limits, 2. Description, evidence, and date of corrective actions taken, and 3. An explanation as to the actions taken to control future releases.
(5) Streams or wetlands onsite or offsite (where accessible)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	If the stream or wetland has increased visible sedimentation or a stream has visible increased turbidity from the construction activity, then a record of the following shall be made: 1. Description, evidence and date of corrective actions taken, and 2. Records of the required reports to the appropriate Division Regional Office per Part III, Section C, Item (2)(a) of this permit.
(6) Ground stabilization measures	After each phase of grading	1. The phase of grading (installation of perimeter E&SC measures, clearing and grubbing, installation of storm drainage facilities, completion of all land-disturbing activity, construction or redevelopment, permanent ground cover). 2. Documentation that the required ground stabilization measures have been provided within the required timeframe or an assurance that they will be provided as soon as possible.

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

PART II, SECTION G, ITEM (4)
DRAW DOWN OF SEDIMENT BASINS FOR MAINTENANCE OR CLOSE OUT

Sediment basins and traps that receive runoff from drainage areas of one acre or more shall use outlet structures that withdraw water from the surface when these devices need to be drawn down for maintenance or close out unless this is infeasible. The circumstances in which it is not feasible to withdraw water from the surface shall be rare (for example, times with extended cold weather). Non-surface withdrawals from sediment basins shall be allowed only when all of the following criteria have been met:

- (a) The E&SC plan authority has been provided with documentation of the non-surface withdrawal and the specific time periods or conditions in which it will occur. The non-surface withdrawal shall not commence until the E&SC plan authority has approved these items,
- (b) The non-surface withdrawal has been reported as an anticipated bypass in accordance with Part III, Section C, Item (2)(c) and (d) of this permit,
- (c) Dewatering discharges are treated with controls to minimize discharges of pollutants from stormwater that is removed from the sediment basin. Examples of appropriate controls include properly sited, designed and maintained dewatering tanks, weir tanks, and filtration systems,
- (d) Vegetated, upland areas of the sites or a properly designed stone pad is used to the extent feasible at the outlet of the dewatering treatment devices described in Item (c) above,
- (e) Velocity dissipation devices such as check dams, sediment traps, and riprap are provided at the discharge points of all dewatering devices, and
- (f) Sediment removed from the dewatering treatment devices described in Item (c) above is disposed of in a manner that does not cause deposition of sediment into waters of the United States.

PART III
SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION B: RECORDKEEPING

1. E&SC Plan Documentation

The approved E&SC plan as well as any approved deviation shall be kept on the site. The approved E&SC plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the E&SC plan shall be kept on site and available for inspection at all times during normal business hours.

Item to Document	Documentation Requirements
(a) Each E&SC measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved E&SC plan.	Initial and date each E&SC measure on a copy of the approved E&SC plan or complete, date and sign an inspection report that lists each E&SC measure shown on the approved E&SC plan. This documentation is required upon the initial installation of the E&SC measures or if the E&SC measures are modified after initial installation.
(b) A phase of grading has been completed.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate completion of the construction phase.
(c) Ground cover is located and installed in accordance with the approved E&SC plan.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.
(d) The maintenance and repair requirements for all E&SC measures have been performed.	Complete, date and sign an inspection report.
(e) Corrective actions have been taken to E&SC measures.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate the completion of the corrective action.

2. Additional Documentation to be Kept on Site

In addition to the E&SC plan documents above, the following items shall be kept on the site and available for inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical:

- (a) This General Permit as well as the Certificate of Coverage, after it is received.
- (b) Records of inspections made during the previous twelve months. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically-available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.

3. Documentation to be Retained for Three Years

All data used to complete the e-NOI and all inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]

TOWN CERTIFICATION

THIS DESIGN HAS BEEN REVIEWED BY THE ENGINEER FOR THE TOWN OF KNIGHTDALE, AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, IT CONFORMS TO THE REQUIREMENTS ESTABLISHED IN THE STANDARD SPECIFICATIONS OF THE TOWN OF KNIGHTDALE.

BY: S. H. H. H. DATE: 11-19-2020
TOWN ENGINEER

THESE PLANS ARE APPROVED BY THE TOWN OF KNIGHTDALE AND SERVE AS CONSTRUCTION PLANS FOR THIS PROJECT.

BY: W. C. L. DATE: 11/19/22
ADMINISTRATOR

PART III
SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION C: REPORTING

1. Occurrences that Must be Reported

Permittees shall report the following occurrences:

- (a) Visible sediment deposition in a stream or wetland.
- (b) Oil spills if:
 - They are 25 gallons or more,
 - They are less than 25 gallons but cannot be cleaned up within 24 hours,
 - They cause sheen on surface waters (regardless of volume), or
 - They are within 100 feet of surface waters (regardless of volume).
- (c) Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or G.S. 143-215.85.
- (d) Anticipated bypasses and unanticipated bypasses.
- (e) Noncompliance with the conditions of this permit that may endanger health or the environment.

2. Reporting Timeframes and Other Requirements

After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be reported to the Department's Environmental Emergency Center personnel at (800) 858-0368.

Occurrence	Reporting Timeframes (After Discovery) and Other Requirements
(a) Visible sediment deposition in a stream or wetland	<ul style="list-style-type: none">• Within 24 hours, an oral or electronic notification.• Within 7 calendar days, a report that contains a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis.• If the stream is named on the NC 303(d) list as impaired for sediment-related causes, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance with the federal or state impaired-waters conditions.
(b) Oil spills and release of hazardous substances per Item 1(b)-(c) above	<ul style="list-style-type: none">• Within 24 hours, an oral or electronic notification. The notification shall include information about the date, time, nature, volume and location of the spill or release.
(c) Anticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none">• A report at least ten days before the date of the bypass, if possible. The report shall include an evaluation of the anticipated quality and effect of the bypass.
(d) Unanticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none">• Within 24 hours, an oral or electronic notification.• Within 7 calendar days, a report that includes an evaluation of the quality and effect of the bypass.
(e) Noncompliance with the conditions of this permit that may endanger health or the environment[40 CFR 122.41(l)(7)]	<ul style="list-style-type: none">• Within 24 hours, an oral or electronic notification.• Within 7 calendar days, a report that contains a description of the noncompliance, and its causes; the period of noncompliance, including exact dates and times, and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent reoccurrence of the noncompliance. [40 CFR 122.41(l)(6).• Division staff may waive the requirement for a written report on a case-by-case basis.

NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING

EFFECTIVE: 04/01/19

STOCKS ENGINEERING

801 EAST WASHINGTON STREET
NASHVILLE, N.C. 27560
PHONE: (252) 499-6196
WWW.STOCKSENGINEERING.COM

BLN-C-1874

310 ARCHITECTS- KNIGHTDALE CRAFT KITCHEN
KNIGHTDALE, NORTH CAROLINA

SEAL
19843
ENGINEER
MICHAEL STOCKS
7/22/19

NCG01
DETAILS

REVISIONS

FILE NO. 2019-098
HORZ. SCALE: 1"=50'
VERT. SCALE: NONE

D-03

GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT

Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

SECTION E: GROUND STABILIZATION

Required Ground Stabilization Timeframes		
Site Area Description	Stabilize within this many calendar days after ceasing land disturbance	Timeframe variations
(a) Perimeter dikes, swales, ditches, and perimeter slopes	7	None
(b) High Quality Water (HQW) Zones	7	None
(c) Slopes steeper than 3:1	7	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed
(d) Slopes 3:1 to 4:1	14	-7 days for slopes greater than 50' in length and with slopes steeper than 4:1 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed
(e) Areas with slopes flatter than 4:1	14	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless there is zero slope

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

GROUND STABILIZATION SPECIFICATION

Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

Temporary Stabilization	Permanent Stabilization
<ul style="list-style-type: none">Temporary grass seed covered with straw or other mulches and tackifiersHydroseedingRolled erosion control products with or without temporary grass seedAppropriately applied straw or other mulchPlastic sheeting	<ul style="list-style-type: none">Permanent grass seed covered with straw or other mulches and tackifiersGeotextile fabrics such as permanent soil reinforcement mattingHydroseedingShrubs or other permanent plantings covered with mulchUniform and evenly distributed ground cover sufficient to restrain erosionStructural methods such as concrete, asphalt or retaining wallsRolled erosion control products with grass seed

POLYACRYLAMIDES (PAMS) AND FLOCCULANTS

- Select flocculants that are appropriate for the soils being exposed during construction, selecting from the *NC DWR List of Approved PAMS/Flocculants*.
- Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
- Apply flocculants at the concentrations specified in the *NC DWR List of Approved PAMS/Flocculants* and in accordance with the manufacturer's instructions.
- Provide ponding area for containment of treated Stormwater before discharging offsite.
- Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

EQUIPMENT AND VEHICLE MAINTENANCE

- Maintain vehicles and equipment to prevent discharge of fluids.
- Provide drip pans under any stored equipment.
- Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
- Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
- Remove leaking vehicles and construction equipment from service until the problem has been corrected.
- Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE

- Never bury or burn waste. Place litter and debris in approved waste containers.
- Provide a sufficient number and size of waste containers (e.g dumpster, trash receptacle) on site to contain construction and domestic wastes.
- Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
- Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.
- Anchor all lightweight items in waste containers during times of high winds.
- Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
- Dispose waste off-site at an approved disposal facility.
- On business days, clean up and dispose of waste in designated waste containers.

PAINT AND OTHER LIQUID WASTE

- Do not dump paint and other liquid waste into storm drains, streams or wetlands.
- Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Contain liquid wastes in a controlled area.
- Containment must be labeled, sized and placed appropriately for the needs of site.
- Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

PORTABLE TOILETS

- Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
- Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
- Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

EARTHEN STOCKPILE MANAGEMENT

- Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
- Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
- Provide stable stone access point when feasible.
- Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.

TOWN CERTIFICATION	
THIS DESIGN HAS BEEN REVIEWED BY THE ENGINEER FOR THE TOWN OF KNIGHTDALE, AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, IT CONFORMS TO THE REQUIREMENTS ESTABLISHED IN THE STANDARD SPECIFICATIONS OF THE TOWN OF KNIGHTDALE.	
BY: <u>[Signature]</u>	DATE: <u>11-19-2020</u>
TOWN ENGINEER	
THESE PLANS ARE APPROVED BY THE TOWN OF KNIGHTDALE AND SERVE AS CONSTRUCTION PLANS FOR THIS PROJECT.	
BY: <u>[Signature]</u>	DATE: <u>11/19/20</u>
ADMINISTRATOR	

CONCRETE WASHOUTS

- Do not discharge concrete or cement slurry from the site.
- Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
- Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence.
- Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail.
- Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
- Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow.
- Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.
- Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
- Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
- At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

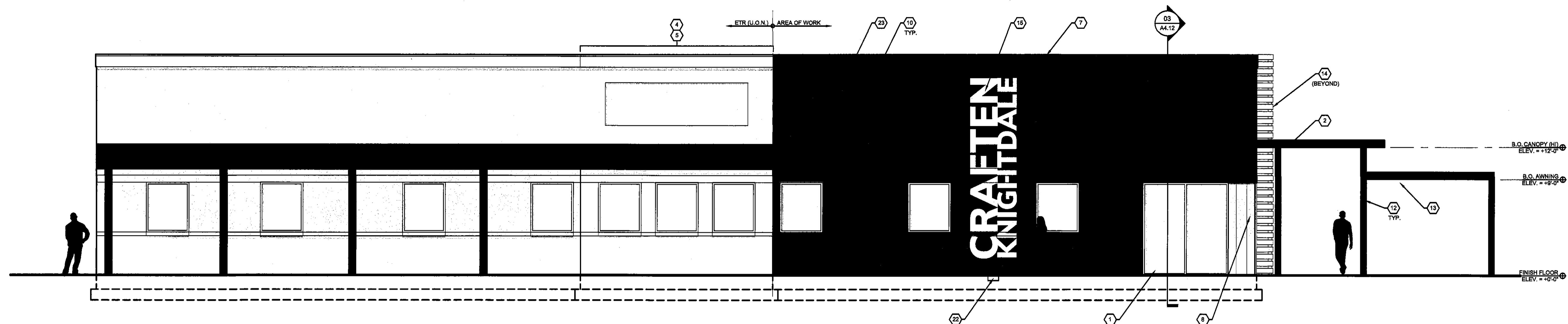
HERBICIDES, PESTICIDES AND RODENTICIDES

- Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
- Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
- Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.
- Do not stockpile these materials onsite.

HAZARDOUS AND TOXIC WASTE

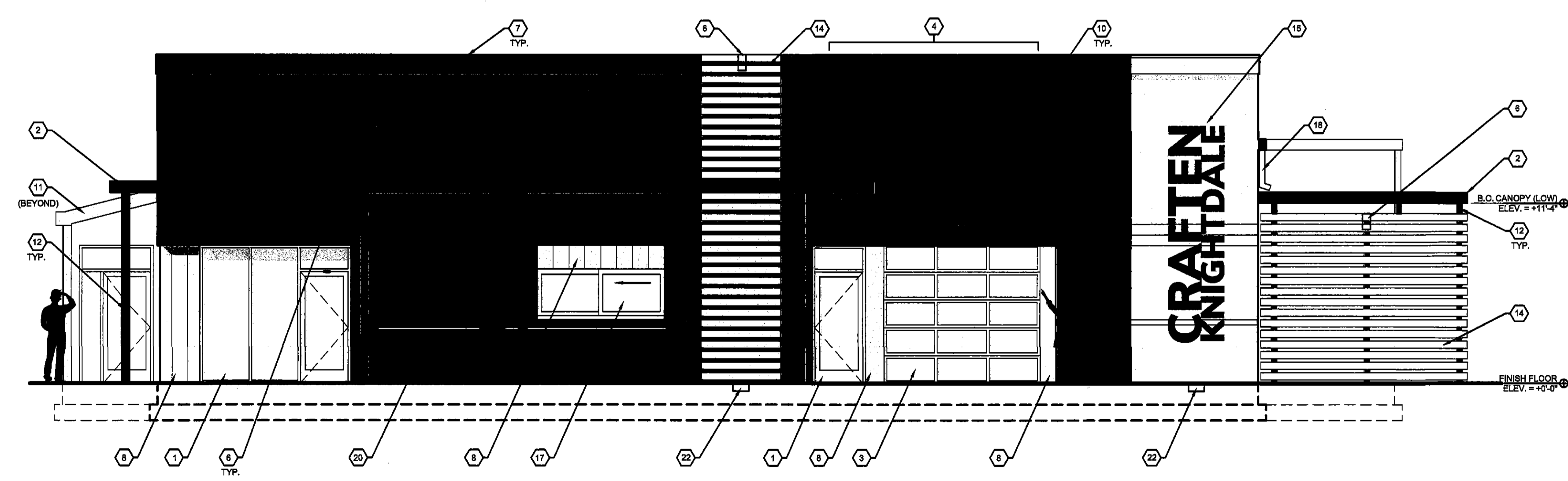
- Create designated hazardous waste collection areas on-site.
- Place hazardous waste containers under cover or in secondary containment.
- Do not store hazardous chemicals, drums or bagged materials directly on the ground.

PROGRESS DRAWINGS
NOT FOR CONSTRUCTION



NEW WORK EXTERIOR ELEV.- WEST 03
Scale: 3/16" = 1'-0"

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BY: SALAM DATE: 11-19-2020
TOWN ENGINEER
THESE PLANS ARE APPROVED BY THE TOWN OF KNIGHTDALE AND SERVE AS CONSTRUCTION PLANS FOR THIS PROJECT.
BY: W. W. DATE: 11/19/20
ADMINISTRATOR



NEW WORK EXTERIOR ELEV.- SOUTH 02
Scale: 3/16" = 1'-0"

- GENERAL ELEVATION NEW WORK NOTES:**
1. VERIFY LAYOUT OF COMPONENTS PRIOR TO COMMENCING CONSTRUCTION.
 2. COLORS AND FINISHES OF EXTERIOR MATERIALS TO BE AS SELECTED AND APPROVED BY ARCHITECT PRIOR TO CONSTRUCTION.
 3. PAINT ALL EXPOSED STEEL.
 4. NEW ROOF TOP MECHANICAL EQUIPMENT WILL BE SCREENED BY EXISTING PARAPET AND ROOF TOP SCREENING.
 5. ALL PROPOSED EXTERIOR LIGHTING IS TO BE DESIGNED IN COMPLIANCE WITH UDO SECTION 11.5.C.
- ELEVATION NEW WORK KEYNOTES:**
- 1 ALUM. STOREFRONT WINDOW W/ 1" INSUL. VIEW GLASS
 - 2 PRE-FINISHED ALUMINUM CANOPY
 - 3 OVERHEAD SECTIONAL DOOR
 - 4 NEW EIFS BAND TO MATCH EX'G
 - 5 NEW ALUM. COPING TO MATCH EX'G
 - 6 WALL SCONCE DOWNLIGHT
 - 7 NEW ALUMINUM COPING
 - 8 FLUSH METAL PANELS
 - 9 EX'G LADDER TO REMAIN, PAINT PT-BLACK
 - 10 PAINT BRICK, EIFS BAND AND GUTTER / DOWNSPOUTS (WHERE OCCURS), PT-DARK GRAY
 - 11 NEW BREAK METAL TRIM AT CANOPY RAKE, FINISH TO MATCH EX'G
 - 12 CANOPY SUPPORT STRUCTURE, PRE-FINISHED
 - 13 RETRACTABLE LOUVERED PERGOLA
 - 14 DECORATIVE WOOD SCREEN
 - 15 PAINTED LOGO (WHERE SHOWN HATCHED), LIGHT GRAY, ARTWORK TO BE FURNISHED BY OWNER. COMMERCIAL MESSAGE NOT TO EXCEED 10% OF TENANT FACADE AT WEST ELEVATION, OR 5% OF FACADE AT SOUTH ELEVATION.
 - 16 WALK-IN COOLER (BY EQUIPMENT VENDOR)
 - 17 OPERABLE HORZ. SLIDING ALUM. STOREFRONT WINDOW W/ 1" INSUL. VIEW GLASS
 - 18 DOWNSPOUT MODIFIED TO DISCHARGE ON CANOPY
 - 19 NEW GAS METER AND PIPING PER PME DRAWINGS
 - 20 WALL-MOUNTED COUNTERTOP SURFACE
 - 21 EX'G ROOFTOP EQUIPMENT SCREEN TO REMAIN
 - 22 IN-GRADE UPLIGHT FIXTURE
 - 23 EXISTING CANOPY TO REMAIN

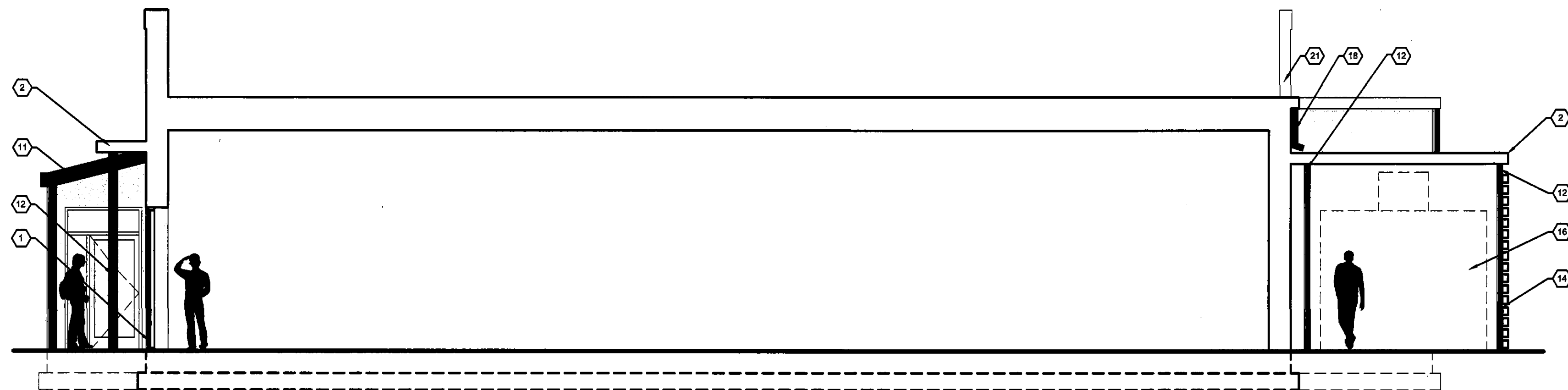
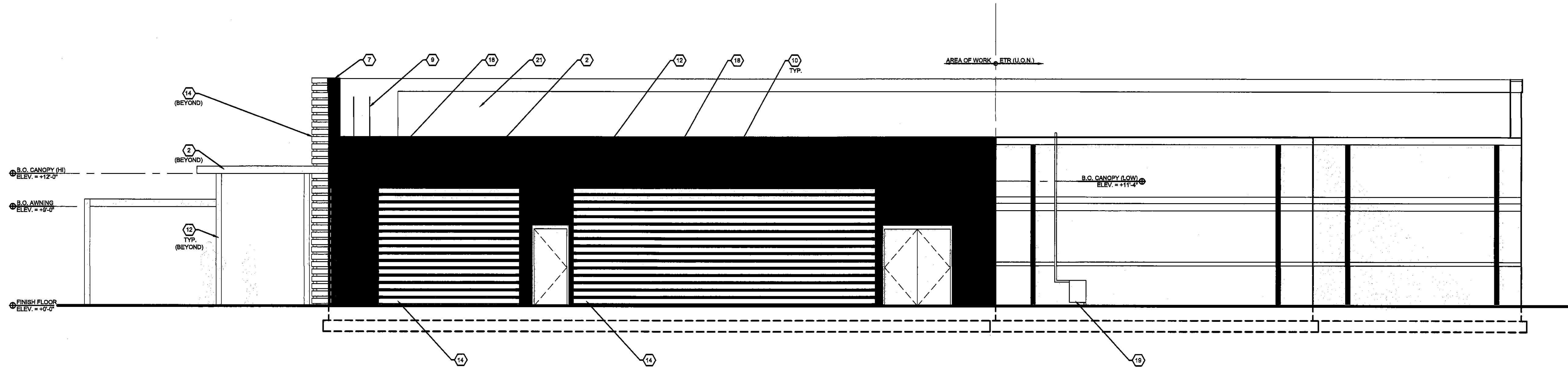
FITUP FOR
Craften Knightdale
706 Money Court
Knightdale, NC 27545

PROJECT #		19118
DATE:		09.18.2020
DRAWN BY:		RMC, WBS
CHECKED BY:		DBB, WBS
NO.	REVISION	DATE
EXTERIOR ELEVATIONS - NEW WORK		
A4.11		

PROJECT #		19118
DATE:		09 . 18 . 2020
DRAWN BY:		RMC, WBS
CHECKED BY:		DBB, WBS
NO.	REVISION	DATE

EXTERIOR
ELEVATIONS -
NEW WORK

A4.12



- GENERAL ELEVATION NEW WORK NOTES:
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- ELEVATION NEW WORK KEYNOTES:
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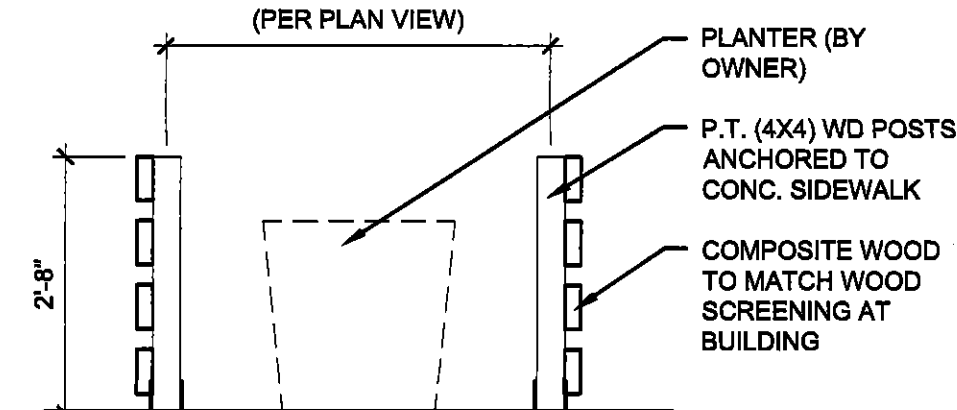
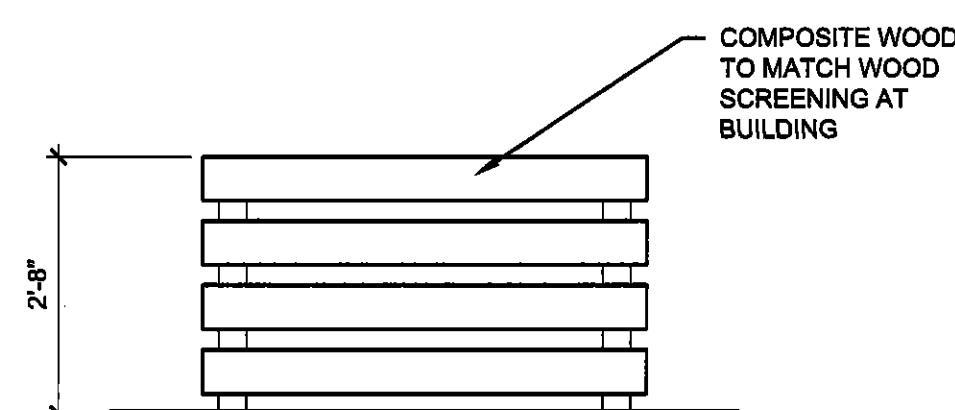
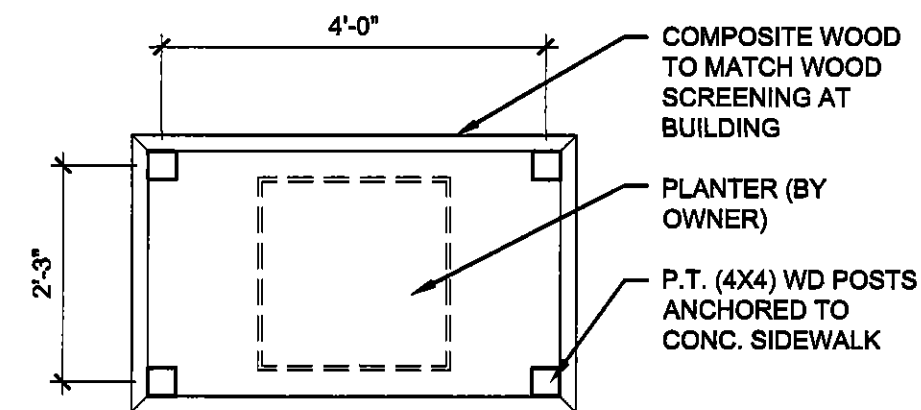
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BY: S. Smith DATE: 11/19/2020
TOWN ENGINEER

THESE PLANS ARE APPROVED BY THE TOWN OF KNIGHTDALE AND SERVE AS CONSTRUCTION PLANS FOR THIS PROJECT.

BY: W. H. Smith DATE: 11/19/20
ADMINISTRATOR



(FUTURE) PLANTER BOX DETAILS 02
Scale: 1/2" = 1'-0"

NEW WORK ELEVATION NOTES 01
Scale: -